

DM

DANI MERRICK

INTERIOR ARCHITECTURE & DESIGN PORTFOLIO

01

45 HULBERT AVE.

02

CAFÉ BELLE VIE

03

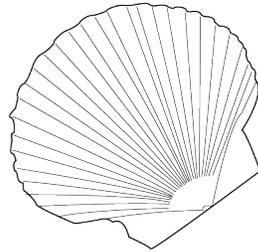
TRIBECA LOFT

04

RIVER BEND

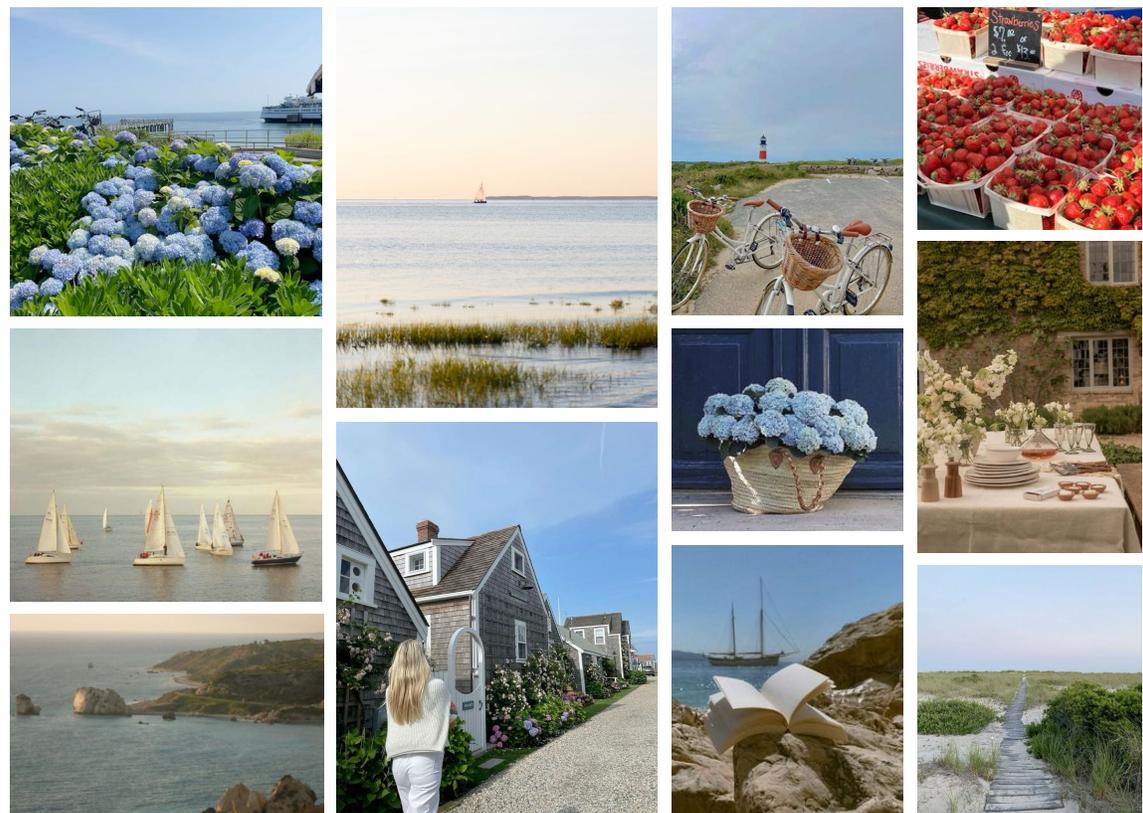
01

45 HULBERT AVE.



Perched along the scenic shores of Nantucket, this beach front vacation home is designed to be a cherished retreat for generations to come. With a growing family in mind, the home balances spaciousness and coziness, ensuring it remains welcoming as children grow and bring their own families in the future. Blending the timeless charm of a coastal cottage with subtle traditional elements, the design incorporates soft coastal tones, classic moldings, and warm, inviting spaces that encourage gathering. At the heart of the home is a large, open-concept kitchen that seamlessly extends to the back patio, creating the perfect setting for summer dinner parties and casual get-togethers. Designed to evolve with the family, this Nantucket retreat is more than just a vacation home—it's a place where lifelong memories will be made.

MOOD & INSPIRATION



MATERIAL BOARD



REDEFINING COASTAL CHARM

Designed as a summer retreat for cherished family gatherings, this coastal home exudes charm at every turn. Though large in size, it was carefully crafted to feel warm and inviting, with the cozy essence of a classic cottage. Staying true to Nantucket's timeless style was a priority for the client, seamlessly balanced with touches of their unique personal taste.



FRONT EXTERIOR



BACK EXTERIOR ELEVATION

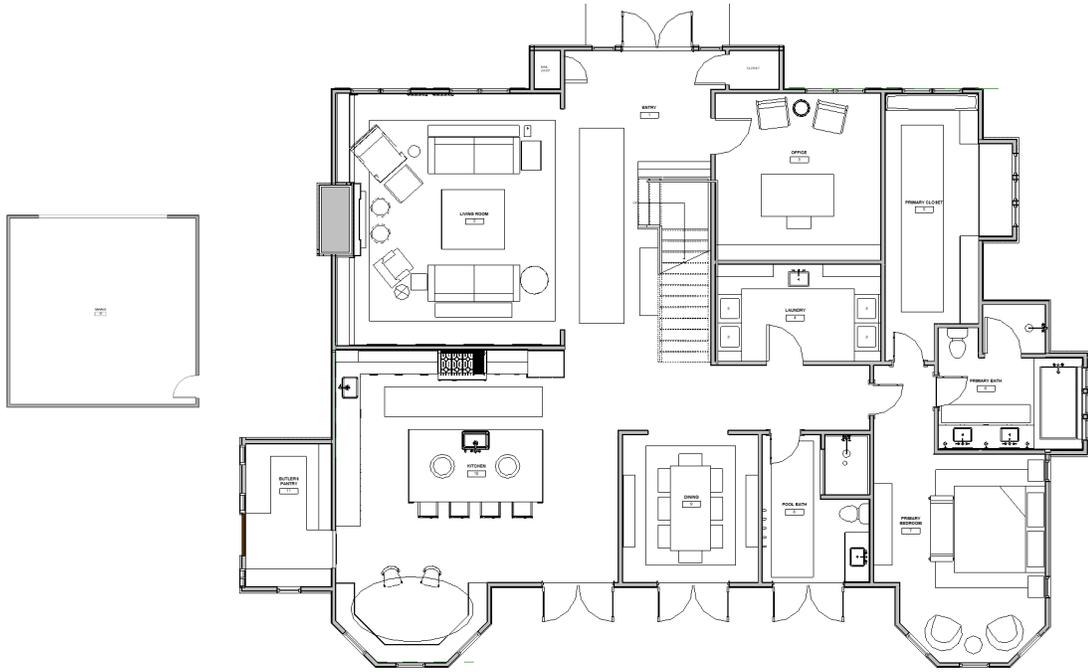


EAST SIDE ELEVATION

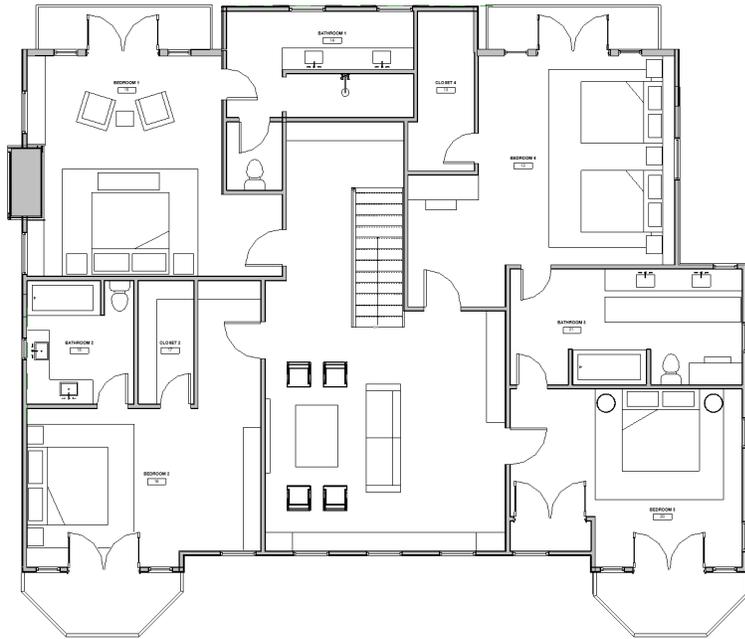


WEST SIDE ELEVATION

FLOOR PLANS



FIRST FLOOR PLAN



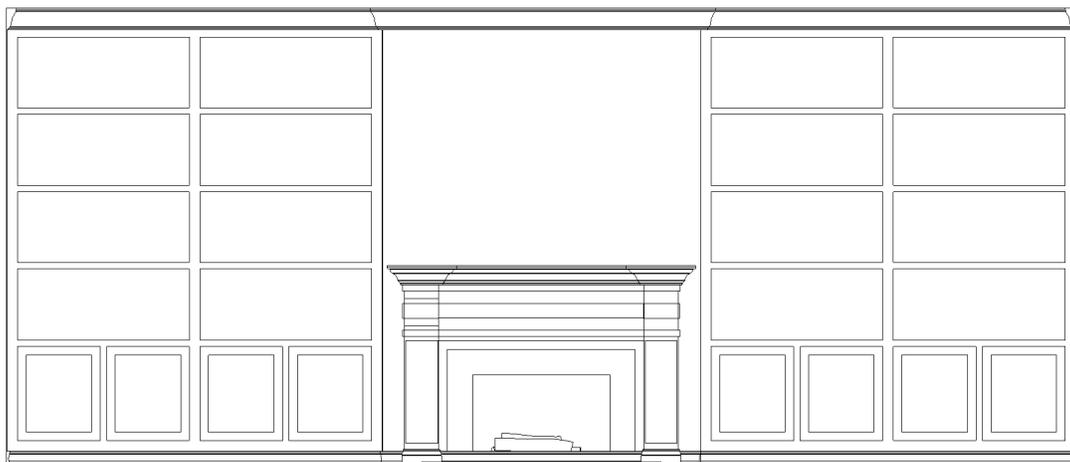
SECOND FLOOR PLAN

MAIN LIVING SPACE

When designing the living room, comfort was the top priority. Creating a warm and inviting atmosphere was essential to the clients. As one of the home's main gathering areas, it needed to be both functional and cozy. Open shelving adds a personal touch, offering a place to showcase treasured belongings and infuse the space with character.



LIVING ROOM RENDERING



BUILT-INS ELEVATION

KITCHEN & BREAKFAST NOOK

The kitchen serves as the heart of this home, thoughtfully designed to accommodate the needs of a large family. To make room for multiple cooks, we included two sinks: a main sink and a smaller prep sink, each paired with its own dishwasher to keep up with the demands of hosting.

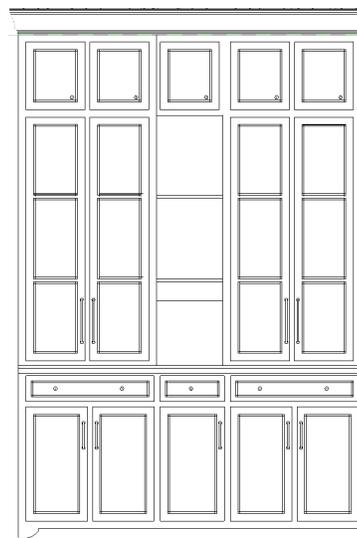
The addition of a breakfast nook allows for casual dining as an alternative to the formal dining room. Nestled into the bay window, the most charming area of the kitchen was born.



KITCHEN RENDERING



DINING NOOK RENDERING



KITCHEN SHELVING ELEVATION

PRIMARY SUITE

Creating a serene sanctuary to escape the hustle and bustle of family life was a top priority for our clients. The primary suite, featuring a spacious bedroom, a full bathroom, and a generous walk-in closet, is perfectly tailored to meet their needs. By incorporating soothing colors and soft, inviting textures, we designed a space that is both visually stunning and an ideal retreat for relaxation and recharging.



PRIMARY BEDROOM RENDERING



PRIMARY CLOSET ELEVATION

PRIMARY BATH & POOL BATH

The pool bath with its exterior access is designed to cater to both post pool needs, as well as being the main guest bathroom in the house. The custom pink wallpaper and green shower tile keep the space feeling bright and fun.



PRIMARY BATH RENDERING



POOL BATH RENDERING

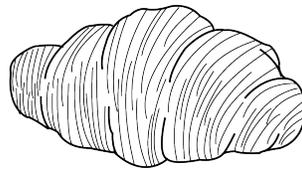
BEDROOM 1



BEDROOM 1 SELECTIONS FEATURING CUSTOM WALLCOVERING

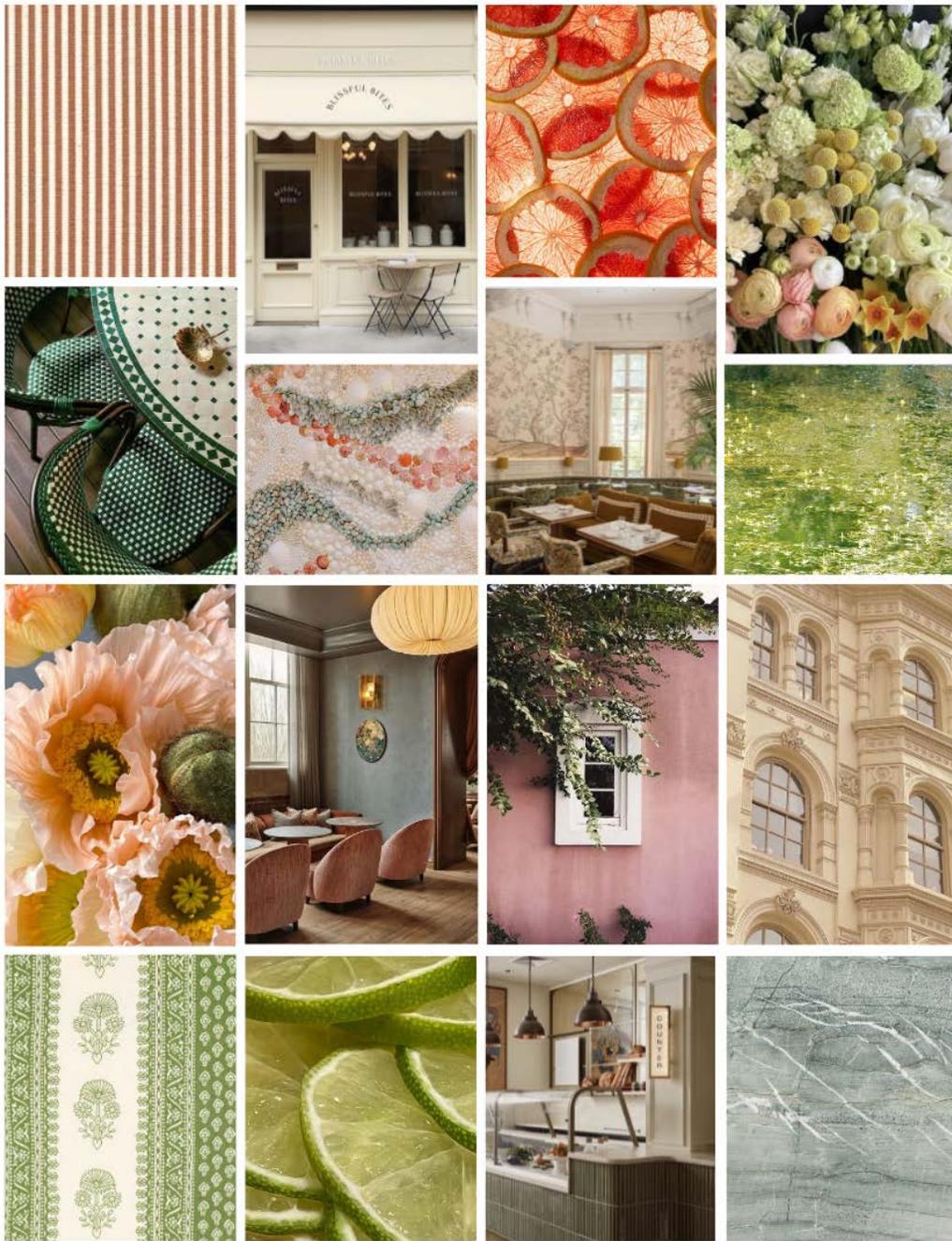
02

CAFÉ BELLE VIE



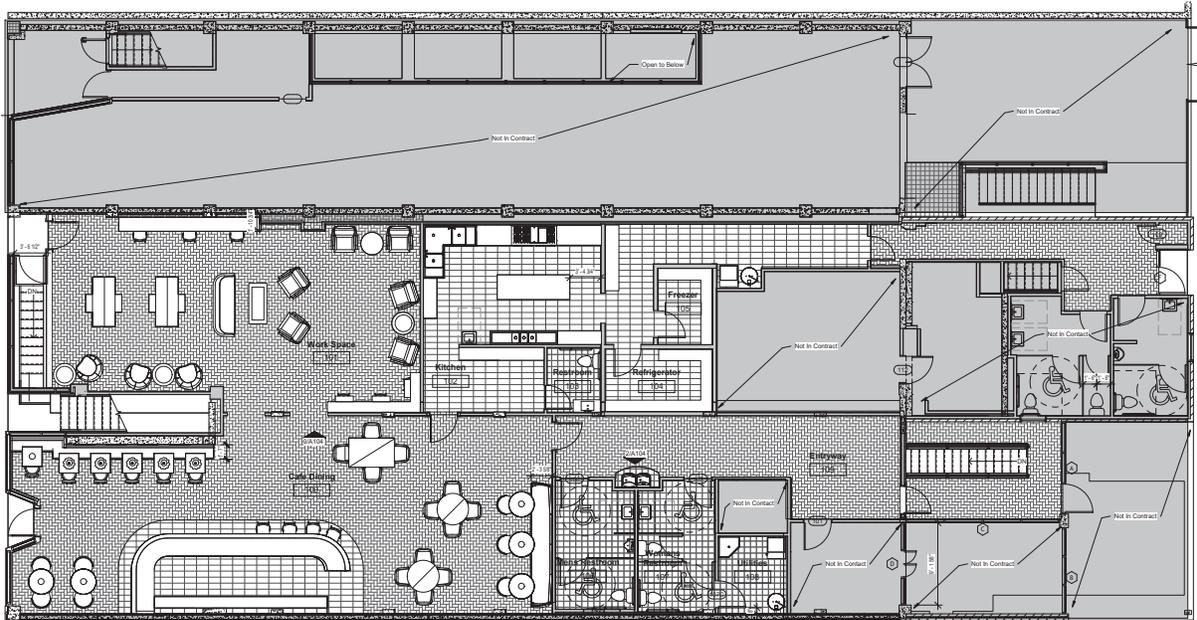
Café Belle Vie is a tenant improvement project in downtown Logan, designed to bring the charm of a French-inspired café to the community. This inviting space serves a dual purpose—offering both a vibrant dining experience and a shared workspace for remote workers, students, and creatives. While the café and work areas are distinct, they remain seamlessly connected. The design showcases elegant French influences with a striking vibrant green tiled ceiling, classic moldings, and a mix of colorful, textured seating fabrics that add warmth and character. Thoughtful space planning ensures a welcoming environment for every guest - whether you're savoring your morning espresso, enjoying a leisurely lunch with friends, or finding inspiration while working remotely.

MOOD & INSPIRATION



COLOR PALETTE

FLOOR PLANS



FURNITURE PLAN



EXTERIOR ELEVATION

CAFE DINING

The café dining area will exude the charm and warmth of a classic French café, blending traditional elegance with a cozy, inviting atmosphere. The mixture of bright colors, pattern and the aquamarine quartzite keep the space feeling fun and inviting. The soft ambient lighting and vintage-inspired fixtures enhance a sense of comfort in the space. The layout will encourage both intimate gatherings and casual solo dining, ensuring a the perfect dining experience for all guests.



CAFE RENDERING



CAFE RENDERING

CAFE RENDERINGS



CAFE RENDERING



CAFE RENDERING

WORK AREA

The work area will be thoughtfully designed to foster productivity while maintaining the charm and warmth of the café setting. Comfortable seating, including communal tables and cozy nooks, will cater to different work styles, while ample natural light will enhance concentration and ambiance. The colorful design from the cafe continues into the space making it an inspiring space for remote workers, students, and creatives alike.



WORK AREA RENDERING



CAFE RENDERING

SHEET INDEX

Index of Drawings - Architectural	
Sheet Number	Sheet Name
G100	Cover Sheet
G101	Exit / Fire Extinguisher Plan
A100	Demo Plan Plan
A101	Dimensioned Floor Plan
A102	Furniture Plan
A103	Finish Floor Plan
A104	Interior Elevations
A105	Interior Elevations
A106	Reflected Ceiling Plan
A107	Reflected Ceiling Plan
E100	Switching Plan
E101	Power Plan
M100	Mechanical Plan
P100	Plumbing Plan
P101	Plumbing Plan



Arimo - Cafe Belle Vie - TI

186 North Main Street Logan, Utah 84321

CODE ANALYSIS

PROJECT NAME: Arimo - Tap Room T.I.
ADDRESS: 186 North Main Street, Logan, Utah 84321
PROPOSED USE: Cafe

JURISDICTION: Logan, Utah

CODE:
 2021 INTERNATIONAL BUILDING CODE
 2021 INTERNATIONAL PLUMBING CODE
 2021 INTERNATIONAL FIRE CODE
 2021 INTERNATIONAL ENERGY CODE COUNCIL
 A117.1 AMERICANS NATIONAL STANDARDS INSTITUTE
 PROJECT TO COMPLY W/ ICC A117.1-2017

GENERAL:
 OCCUPANCY: M (Main Floor)
 REQUIRED FIRE SEPARATION: In a future Phase - Business on 2nd floor No Requirement (TABLE 506.4) between A-2F-2

FIRE RESISTIVE REQUIREMENTS (TABLE 601):

CONSTRUCTION TYPE	IBB
STRUCTURAL FRAME	0 HR RATING
BEARING WALLS	0 HR RATING
EXTERIOR	2 HR RATING
INTERIOR	0 HR RATING
NON BEARING WALLS	0 HR RATING
FLOOR CONSTRUCTION	0 HR RATING
ROOF CONSTRUCTION	0 HR RATING

ALLOWABLE HEIGHT (TABLE 504.3):
 M OCCUPANCY TYPE IBS S 55 FEET
 ACTUAL HEIGHT = 22

ALLOWABLE NUMBER OF STORES (TABLE 504.4):
 M OCCUPANCY TYPE IBS S 3 STORES
 ACTUAL NUMBER OF STORES = 2

ALLOWABLE AREA (TABLE 506.2):
 M OCCUPANCY TYPE IBS S 18,000 S.F.
 ACTUAL AREA = 1,520 S.F. EACH

BUILDING AREA:
 PROPOSED BUILDING AREA: 3,451 S.F.
 Area with Future basement use

FIRE PROTECTION SYSTEMS:
 FIRE EXTINGUISHING SYSTEM: Y
 STANDPIPE SYSTEM: N
 FIRE ALARM: Y

OCCUPANT LOAD CALCULATION (TABLE 1004.1.1):
 OCCUPANT CLASS = 105 PEOPLE (94 + 1 + 10) Refer to Sheet G101 for calculation
TOTAL = 105 PEOPLE

EGRESS WIDTH: IBC 1005
 REQUIRED EGRESS: 2 INCHES PER OCCUPANT = 21' -> Actual = 144'

PLUMBING REQUIREMENTS (TABLE 2902.10)
 ACCESSIBILITY IS TO COMPLY WITH CHAPTER 11 2021 IBC AND FEDERAL ADA STANDARDS

	53 MALE	53 FEMALE
REQUIRED/PROVIDED	REQUIRED/PROVIDED	REQUIRED/PROVIDED
WATER CLOSETS	2/2	2/2
LAVATORIES	2/2	2/2
DRINKING FOUNTAINS	2/2	
SERVICE SINK	1/1	

(PROVIDED RESTROOMS ARE IN COMPLIANCE WITH TABLE 2902.1 IBC 2021)

ABBREVIATIONS

ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
AC	ACCESSIBLE STATION	MECH	MECHANICAL
ADJ	ADJUSTABLE	MTL	METAL
ALT	ALTERNATE	MIN	MINIMUM
ALUM	ALUMINUM	MISC	MISCELLANEOUS
AS	ANCHOR BOLT	MT	MOUNT
ANG	ANGLE	NEW	NEW
ASPH	ASPHALT	NIC	NOT IN CONTRACT
BSMT	BASEMENT	NTS	NOT TO SCALE
BRG	BEARING	OC	ON CENTER
BM	BENCH MARK	OPNG	OPENING
BLDG	BUILDING	OPP	OPPOSITE
BD	BOARD	OD	OUTSIDE DIAMETER
B.O.	BOTTOM OF	OH	OVERHEAD
BLDG	BUILDING	OF/CI	OWNER FURNISHED/ CONTRACTOR INSTALLED
B.U.R.	BUILT UP ROOF	OF/OI	OWNER FURNISHED/ OWNER INSTALLED
CLG	CEILING	PARTN	PARTITION
CL	CENTER LINE	PLAM	PLASTIC LAMINATE
CT	CERAMIC TILE	PL	PLYWOOD
CB	CHALK BOARD	PREFAB	PREFABRICATED
C	CHANNEL	PROJ	PROJECTION
CO	CLEAN OUT	QT	QUARRY TILE
COL	COLUMN	RAD	RADIUS
CONC	CONCRETE	REF	REFRIGERATOR
CONN	CONNECTION	REINF	REINFORCED
CONT	CONTINUOUS	REV	REVISION
CONTR	CONTRACTOR	RD	ROUND
DM	DIMENSION	SCHED	SCHEDULE
DWG	DRAWING	SM	SIMILAR
EA	EACH	SHT	SHEET
ELECT	ELECTRICAL	SPEC	SPECIFICATION
EWC	ELECTRIC WATER COOLER	SQ	SQUARE
ELEV	ELEVATION	SS	STAINLESS STEEL
EQ	EQUAL	STD	STANDARD
EQUIP	EQUIPMENT	STL	STEEL
EXIST	EXISTING	STOR	STORAGE
(EI)	EXISTING	STRUCT	STRUCTURAL
SUSP	SUSPENSION	SUSP	SUSPENDED SUSPENSION
EXT	EXTERIOR	SYS	SYSTEM
FIN	FINISH	TB	TACKBOARD
FE	FIRE EXTINGUISHER CABINET	TEL	TELEPHONE
FLOOR	FLOOR	TELEVISION	TELEVISION
FLR	FLOOR DRAIN	TEMP	TEMPORARY
FD	FLOOR DRAIN	TSS	TUBE STEEL
GA	GALVANIZED	THRES	THRESHOLD
GI	GALVANIZED IRON	TOL	TOLERANCE
GA	GAUGE	T.O.P.	TOP OF
GYP BD	GYP/UM BOARD	T & B	TOP AND BOTTOM
HT	HARD WOOD	TYP	TYPICAL
HT	HEIGHT	VERT	VERTICAL
HM	HOLLOW METAL	UN.O.	UNLESS NOTED OTHERWISE
HORIZ	HORIZONTAL	WC	WATER CLOSET
ID	INSIDE DIAMETER	WM	WATER METER
INSUL	INSULATION	WWF	WELOD WIRE FABRIC
INT	INTERIOR	W	WIDE FLANGE
IT	JOINT	WDO	WINDOW
MFR	MANUFACTURER	WIF	WITHOUT
MB	MARKER BOARD	WID	WOOD
MAX	MAXIMUM		

SYMBOL LEGEND

SYMBOL	DESCRIPTION
	BUILDING SECTION
	SECTION CUT
	DETAIL BUBBLE
	INTERIOR ELEVATION
	EXTERIOR ELEVATION
	REVISIONS
	ELEVATION
	DOOR NUMBER
	WINDOW TYPES
	WALL TYPE
	ROOM TAGS
	SLOPE
	GRID BUBBLE
	KEY NOTES

MATERIALS LEGEND

SYMBOL	DESCRIPTION
	EARTH
	COMPACTED GRANULAR FILL
	FINISHED WOOD
	EXISTING STRUCTURE TO REMAIN
	GYP/UM BOARD
	CONCRETE
	PLYWOOD/OSB
	SHINGLES
	WOOD STUD WALL
	RIDGED INSULATION
	BATT INSULATION
	BRICKMASONRY
	CONCRETE MASONRY UNIT (CMU)
	PARTICLE BOARD
	CONTINUOUS WOOD
	STEEL

Arimo Historic Renovation TI - 2

OWNERS NAME: James Smith
 PROJECT ADDRESS: 186 North Main Street Logan, Utah 84321

MARK	DATE	DESCRIPTION
1	Date 1	Revision 1

PROJECT # 357
 DESIGNED BY: DM
 DRAWN BY: DM
 CHECKED BY: DM
 ISSUED: March 13, 2025



Cover Sheet
G100

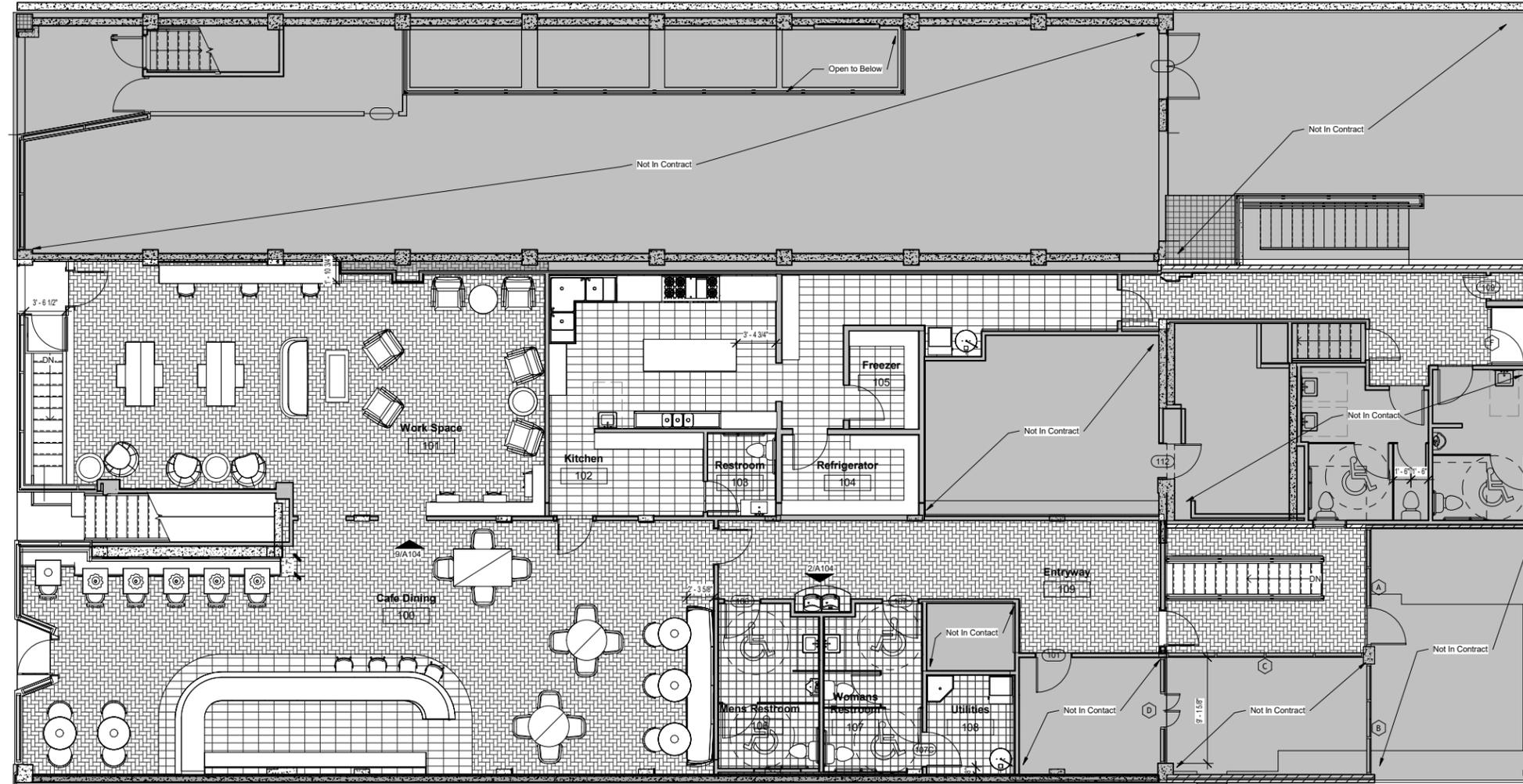
Furniture Legend

Product Image	Product Name	Finish	Qty.	Room #
	Irie Velvet Dining Chair	Robin Egg Blue Solid Velvet Upholstery Fabric	6	100
	Mid-Century Show Wood Chair	Keir Fabric - Blush	6	101
	Preston Swivel Chair	Gravender, Rustic Chenille	3	101
	Payson Upholstered Stool	Robin Egg Blue Solid Velvet Upholstery Fabric	10	100, 101
	Ryles Swivel Chair	Annie Sage Fabric	7	100

Product Image	Product Name	Finish	Qty.	Room #
	Custom Dining Table Rectangular Large	Brass, Quartz Stone	1	100
	Custom Dining Table Small Square	Brass, Quartz Stone	6	100
	Custom Dining Table Small Round	Brass, Quartz Stone	5	100
	Custom Dining Table Large Round	Brass, Quartz Stone	2	100

Product Image	Product Name	Finish	Qty.	Room #
	Fitz Channeled Sofa	Russet - Luca, Velvet	1	101
	Herman Miller - OE1 Rectangular Table	Soft White, Glacier	2	101
	Mason Coffee Table	Antique Gold	4	101
	Catalina Solid Wood Cocktail Table	Earth	1	101

Product Image	Product Name	Finish	Qty.	Room #
	Custom Work Table	White	1	101
	Custom Work Table	White Laminate	1	101



1 Main Floor - Furniture Plan
A102 3/16" = 1'-0"

Armo Historic Renovation TI - 2

OWNERS NAME Owner
PROJECT ADDRESS
Enter address here

MARK:	DATE:	DESCRIPTION:

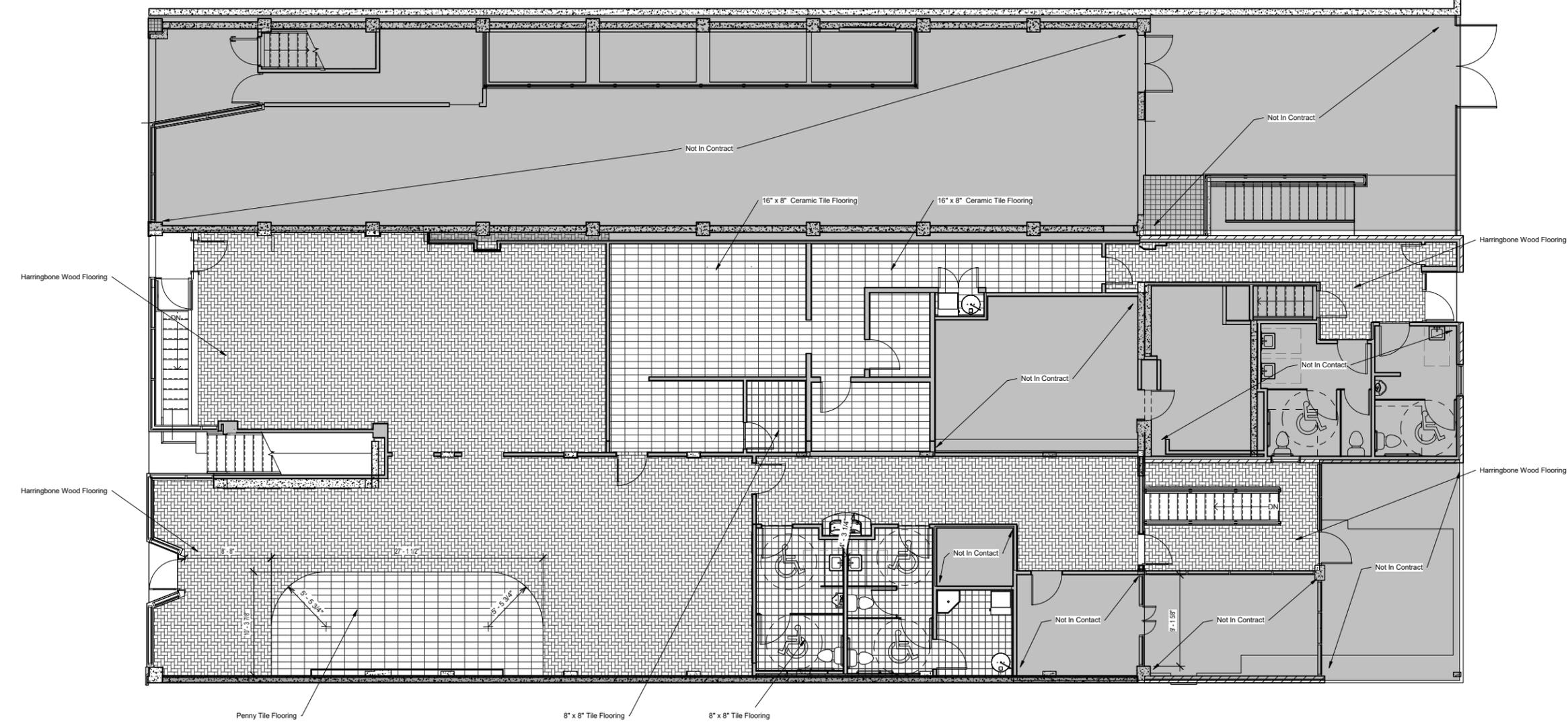
PROJECT # 357
DESIGNED BY Designer
DRAWN BY Author
CHECKED BY Checker
ISSUED
June 13, 2024



Furniture Plan
A102

Flooring Legend

-  Engineered Hardwood Flooring - Herringbone Pattern
-  MSI: 12" x 24" Matte Ceramic Floor Tile - Gridscale Gris
-  Villa Lagoon Tile: Solid 8" x 8" Cement Floor Tile - Pebble
-  Affinity Tile - Hudson 12-in x 13-in Glossy Porcelain Stone Look Penny Round Mosaic Floor Tile - Mint Green



1 Main Floor - Finish Floor Plan
 A103 3/16" = 1'-0"

Arimo Historic Renovation TI - 2

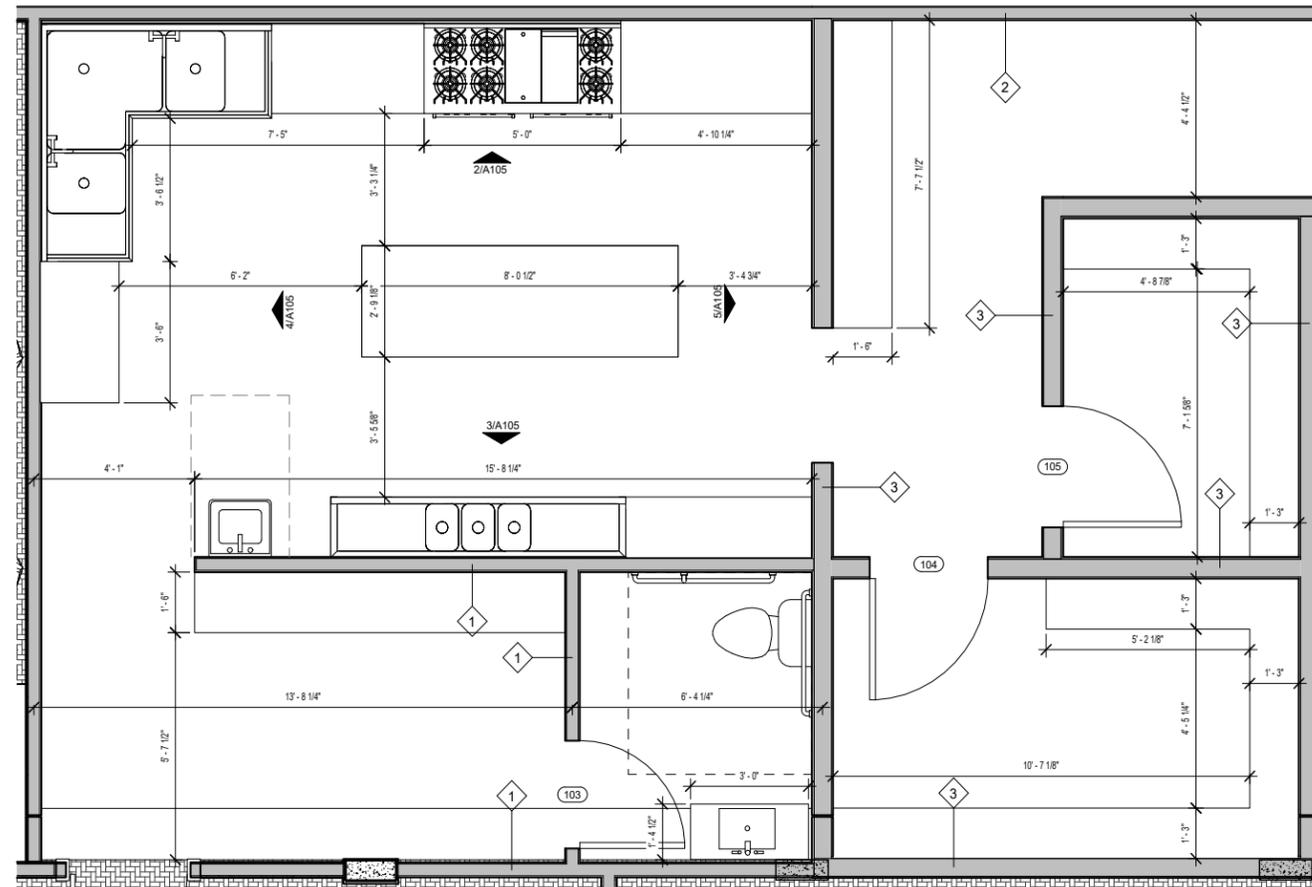
OWNERS NAME James Smith
 PROJECT ADDRESS 186 North Main Street Logan, Utah 84321

MARK:	DATE:	DESCRIPTION:

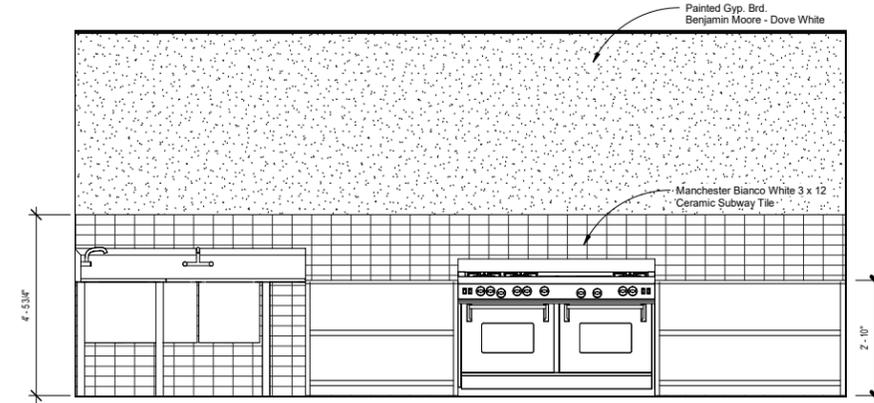
PROJECT # 357
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 ISSUED March 13, 2025



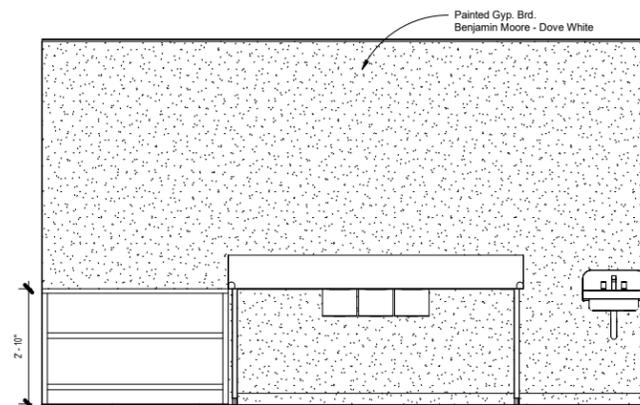
Finish Floor Plan
A103



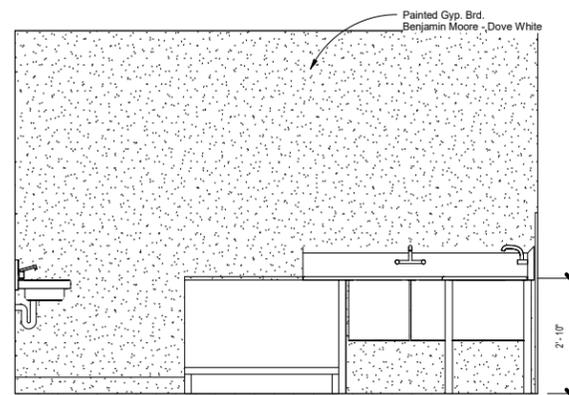
1 Main Floor - Dimensioned - Callout 2
A105 1/2" = 1'-0"



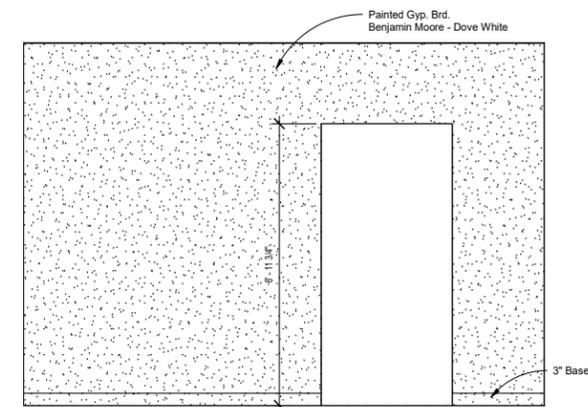
2 Elevation 7
A105 1/2" = 1'-0"



3 Elevation 8
A105 1/2" = 1'-0"



4 Elevation 9
A105 1/2" = 1'-0"



5 Elevation 10
A105 1/2" = 1'-0"

Arimo Historic Renovation TI - 2

OWNERS NAME James Smith
PROJECT ADDRESS 186 North Main Street Logan, Utah 84321

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ISSUED March 13, 2025

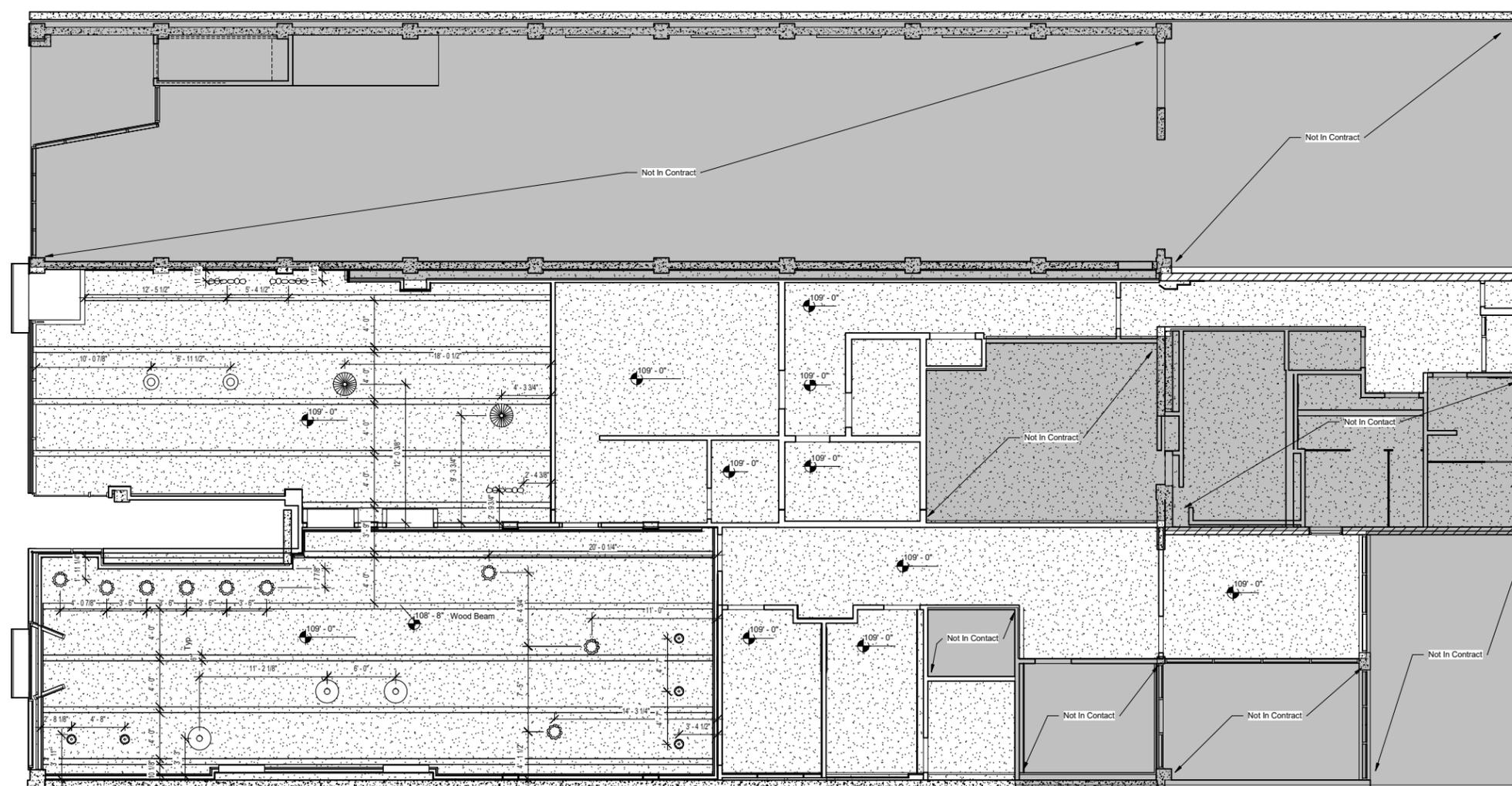


Interior Elevations

A105

Flooring Legend

Product Image	Product Name	Finish	Qty.
	Hommel - Light Metal Drum Pendant	78" x 15.74" x 15.74"	6
	Justice Design - Medium Tier Pleated 1 - Light Pendant	Celadon Green Crackle, Brushed Brass	2
	Laurent Sofa - 96"	Bude - Alabaster Cool Walnut	5
	All Moden - Kase 2	Light Black, Gold	2
	French Retro Fabric Pendant Light	23.62" x 11.81"	2
	6" Recessed Ceiling Can Light	NA	50
	1' x 3' Ceiling Light	NA	8
	Gyp. Brd. Ceiling	NA	NA



1 Main Floor Reflected Ceiling Plan - Decorative Lights Only
A106 3/16" = 1'-0"

For Overhead Light Location RE: 1/A105



Armo Historic Renovation TI - 2

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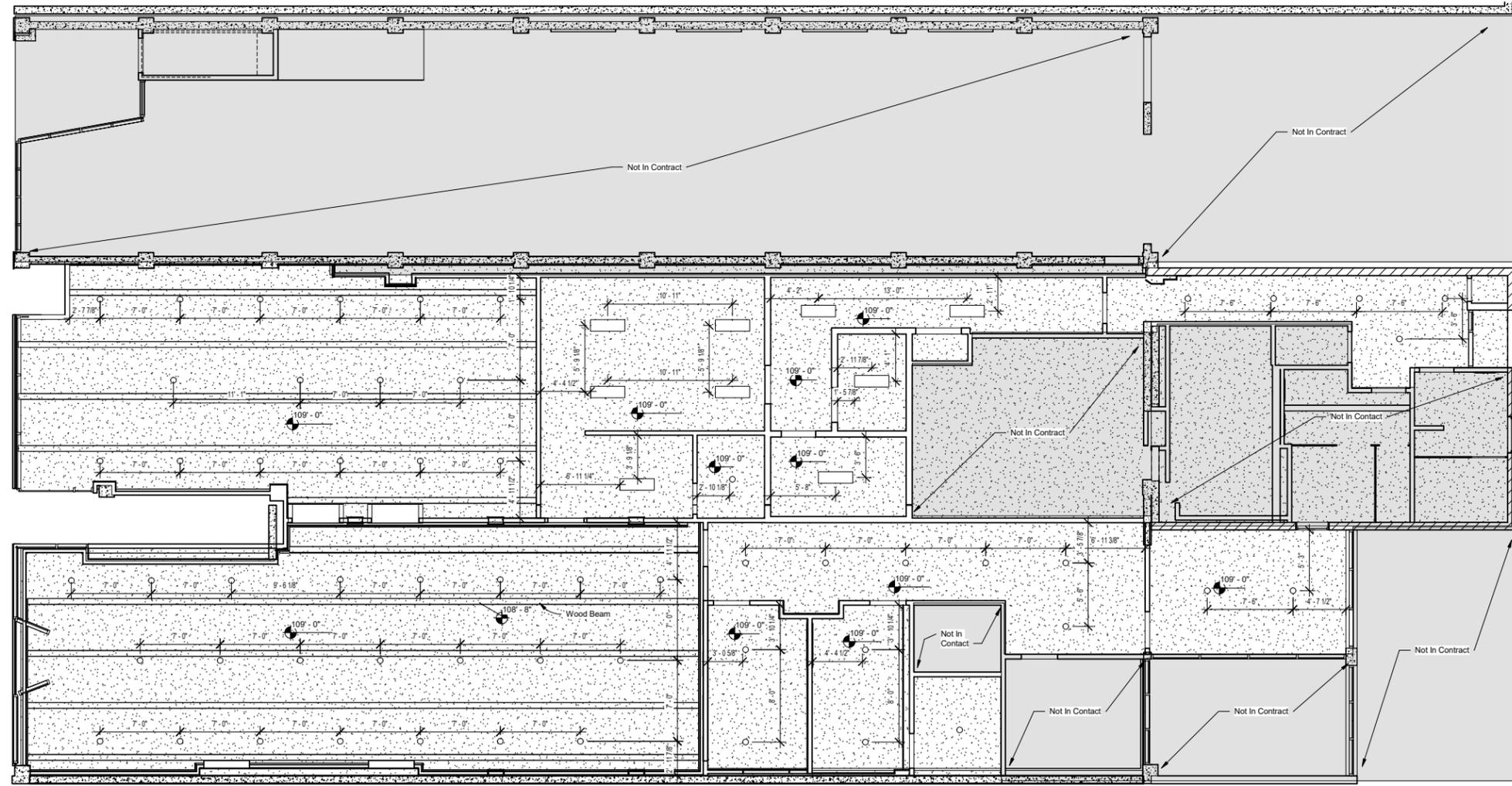


Reflected Ceiling Plan

A106

Lighting Legend

Product Image	Product Name	Finish	Qty.
	Hommel - Light Metal Drum Pendant	78" x 15.74" x 15.74"	6
	Justice Design - Medium Tier Pleated 1 - Light Pendant	Celadon Green Crackle, Brushed Brass	2
	Laurent Sofa - 96"	Bucle - Alabaster Cool Walnut	5
	All Moden - Kase 2	Light Black, Gold	2
	French Retro Fabric Pendant Light	23.62" x 11.81"	2
	6" Recessed Ceiling Can Light	NA	50
	1' x 3' Ceiling Light	NA	7
	Gyp. Brd. Ceiling	NA	NA



1 Main Floor Reflected Ceiling Plan - Overhead Lights Only
 A107 3/16" = 1'-0"

For Decorative Light Location RE: 1/A106



Armo Historic Renovation TI - 2

OWNERS NAME James Smith
 PROJECT ADDRESS 186 North Main Street Logan, Utah 84321

MARK:	DATE:	DESCRIPTION:

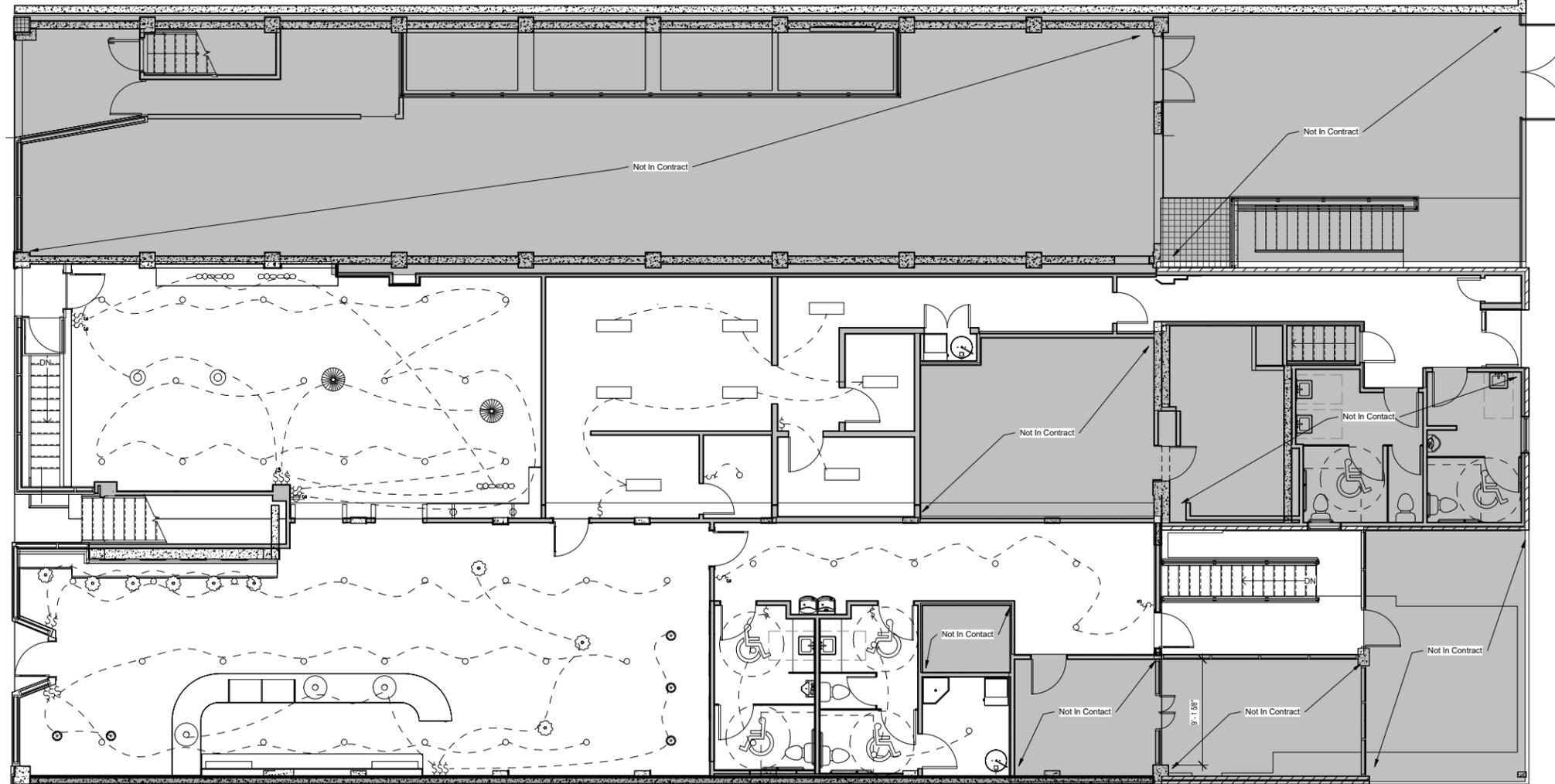
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 ISSUED March 13, 2025



Reflected Ceiling Plan
A107

Lighting Legend

Product Image	Product Name	Finish	Qty.
	Hommel - Light Metal Drum Pendant	78" x 15.74" x 15.74"	6
	Justice Design - Medium Tier Pleated 1 - Light Pendant	Celadon Green Crackle, Brushed Brass	2
	Laurent Sofa - 96"	Bucle - Alabaster Cool Walnut	5
	All Moden - Kase 2	Light Black, Gold NA	2
	French Retro Fabric Pendant Light	23.62" x 17.81"	2
	6" Recessed Ceiling Can Light	NA	50
	1' x 3' Ceiling Light	NA	8
	Gyp. Brd. Ceiling	NA	
	Two Way Wall Switch	NA	
	Three Way Wall Switch	NA	



1 Main Floor - Switching Plan
E100 3/16" = 1'-0"



Armo Historic Renovation TI - 2

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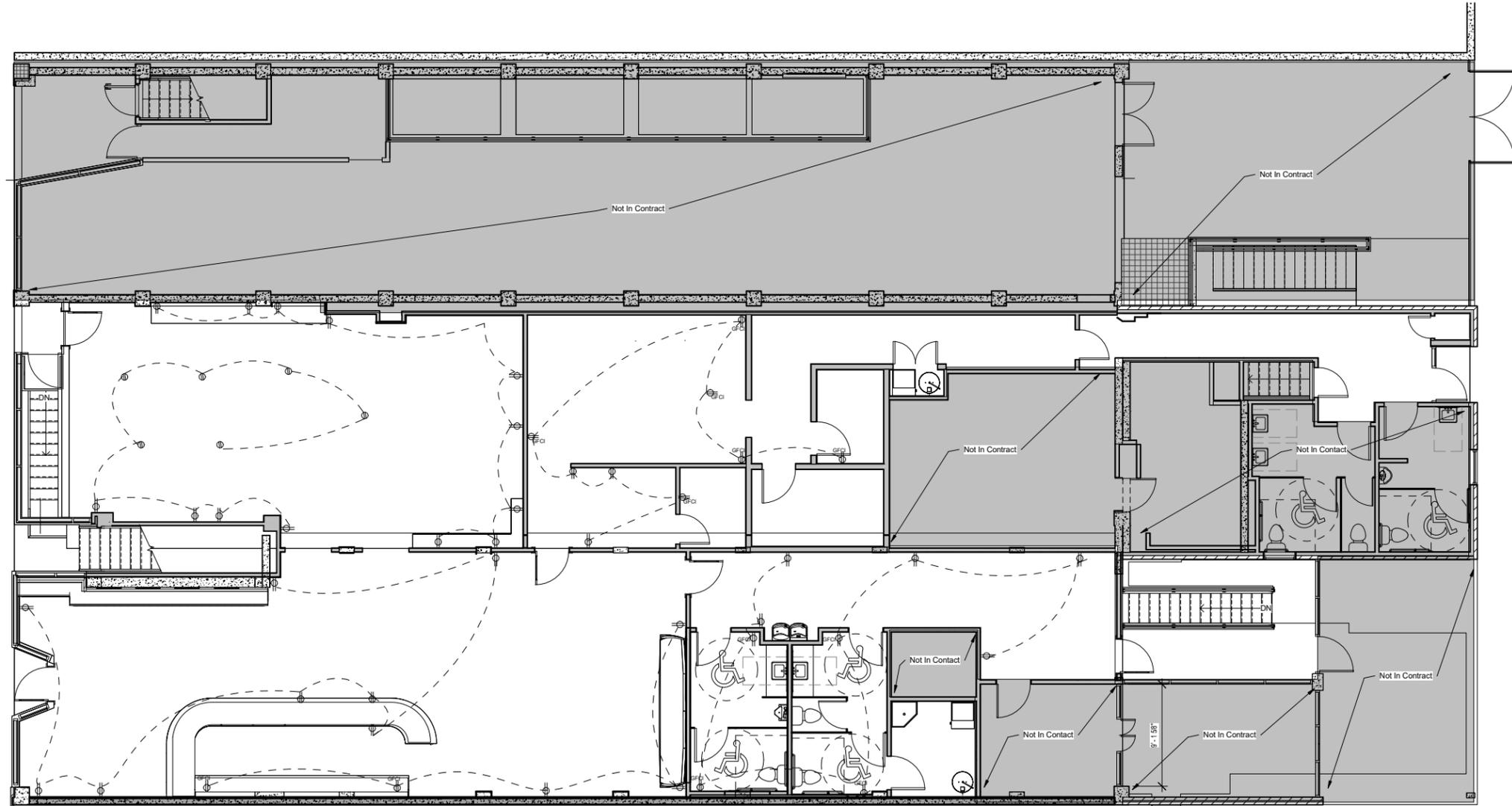
PROJECT # 357
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DRAWN BY Author
CHECKED BY Checker
ISSUED March 13, 2025



Switching Plan
E100



Electrical Legend
3/16" = 1'-0"



1 Main Floor - Power Plan
E101 3/16" = 1'-0"



Armo Historic Renovation TI - 2

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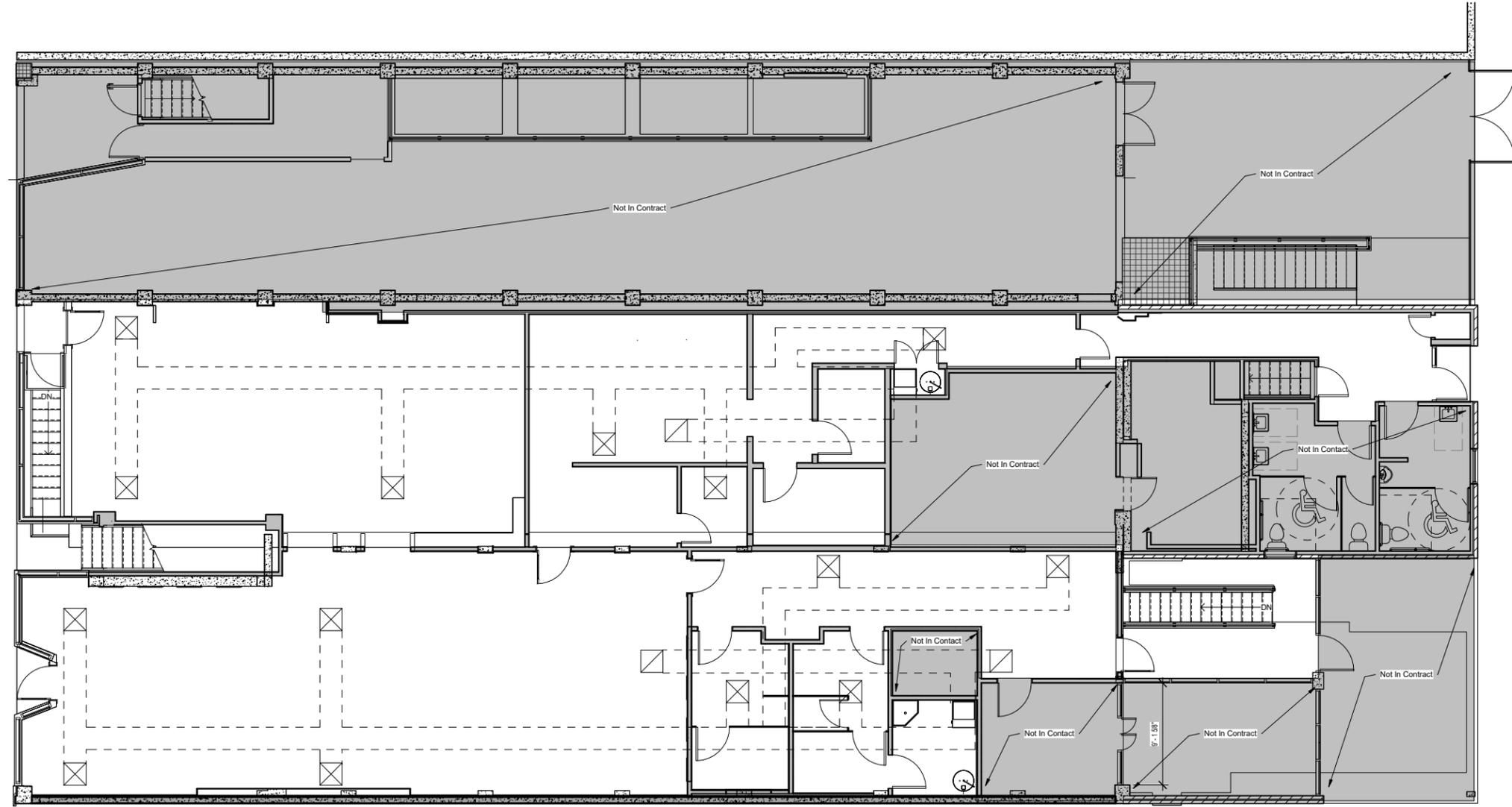
PROJECT # 357
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CHECKED BY: Checker
ISSUED: March 13, 2025



Power Plan
E101

Legend

-  2' x 2' Air Return
-  2' x 2' Air Supply
-  Exhaust Fan To Outside
-  Air Ducts



1 Main Floor - Mechanical Plan
 M100 3/16" = 1'-0"

Armo Historic Renovation TI - 2

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 186 North Main Street Logan, Utah 84321

MARK	DATE	DESCRIPTION

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Mechanical Plan
M100

PIPE LEGEND	
	WASTE PIPE
	VENT PIPE
	DOMESTIC COLD WATER PIPE
	DOMESTIC HOT WATER PIPE

WATER FIXTURE UNIT SCHEDULE

QUANTITY	FIXTURES	WATER FIXTURE UNIT (WFU)	G.P.M.
3	HAND SINK	1.0	1.0
1	MOP SINK	3.0	3.0
2	3 COMP. SINK	4.0	4.0
4	TOILET	1.0	1.0
1	URINAL	1.0	1.0
			WFU TOTAL: 10

PLUMBING FIXTURE SCHEDULE

SYMBOL	FIXTURES	WASTE	VENT	C.W.	H.W.	NOTES
	WATER CLOSET	4"	2"	1/2"	-	-
	LAVATORY	1 1/2"	1 1/2"	1/2"	1/2"	WALL HUNG
	SINK	1 1/2"	1 1/2"	1/2"	1/2"	-
	DRINKING FOUNTAIN	1 1/2"	1 1/2"	1/2"	1/2"	-
	FLOOR DRAIN	3"	-	1/4"	-	W/ TRAP PRIMER
	WATER HEATER	-	-	3/4"	3/4"	-
	URINAL	4"	2"	1/2"	-	-

PIPE SIZING TABLE @ 5 PSI/100'

PIPE SIZE	FLUSH TANK	FLUSH VALVE	VEL (F.P.S.)	G.P.M.
1/2"	3	-	5.0	3
3/4"	8	-	5.1	7
1"	16	4	5.3	13
1 1/4"	47	10	6.1	27
1 1/2"	75	22	6.7	37
2"	230	110	7.1	-70

KEYED NOTES

- CONNECTION TO CITY WATER
DETERMINE BEST LOCATION AT JOB SITE
- CONNECTION NEW WASTE LINE TO
EXISTING LOCATED BELOW FLOOR.
VERIFY EXACT ROUTING AND LOCATION
AT JOB SITE

Armo Historic Renovation TI - 2

OWNERS NAME James Smith
PROJECT ADDRESS 186 North Main Street Logan, Utah 84321

MARK	DATE	DESCRIPTION
1	Date 1	Revision 1

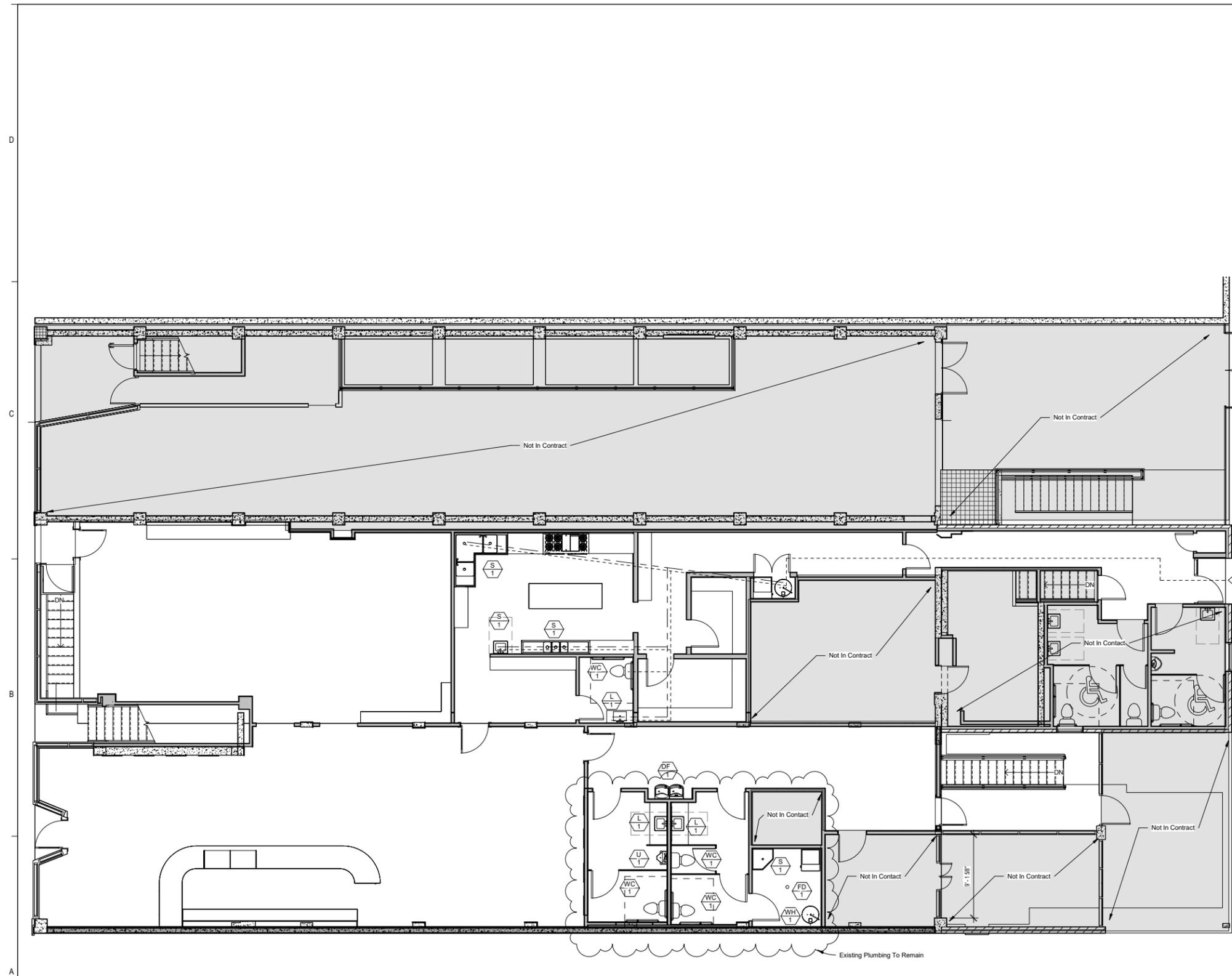
PROJECT # 357
DESIGNED BY Designer
DRAWN BY Author
CHECKED BY Checker
ISSUED March 13, 2025

DM
DANI MERRICK

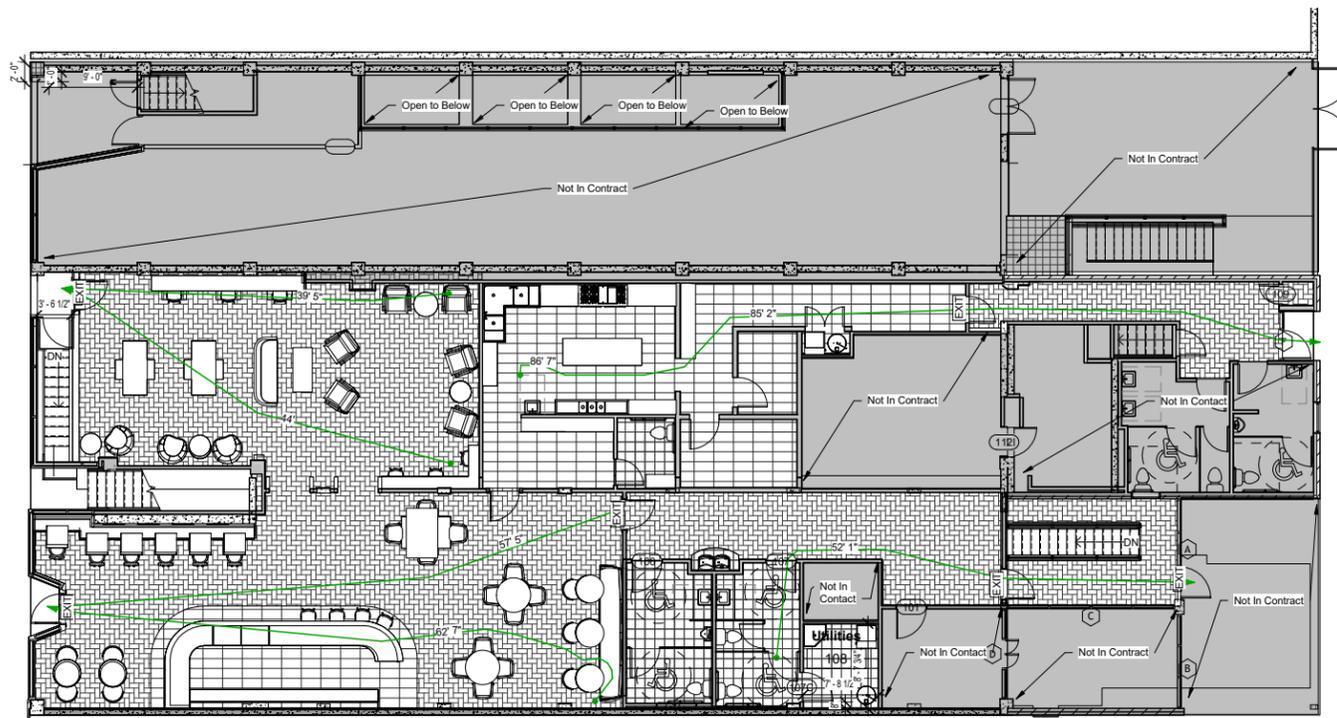
Plumbing Plan

P100

3/15/2025 11:58:04 AM



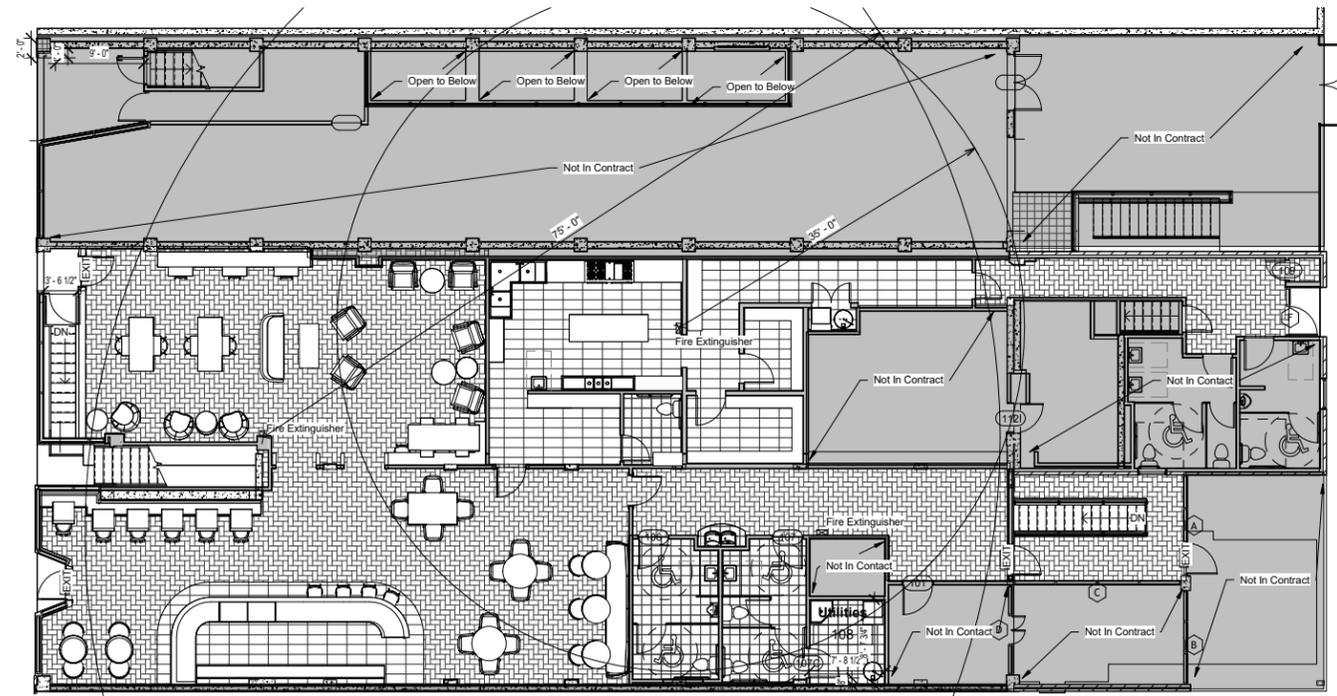
1 Main Floor Supply Plumbing Plan
P100 3/16" = 1'-0"



Legend

[EXIT]	Exit Sign
[X]	Fire Extinguisher

2 Main Floor - Exit Plan
G101 1/8" = 1'-0"



1 Main Floor - Fire Extinguisher Plan
G101 1/8" = 1'-0"

Arimo Historic Renovation TI - 2

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PROJECT ADDRESS 186 North Main Street Logan, Utah 84321

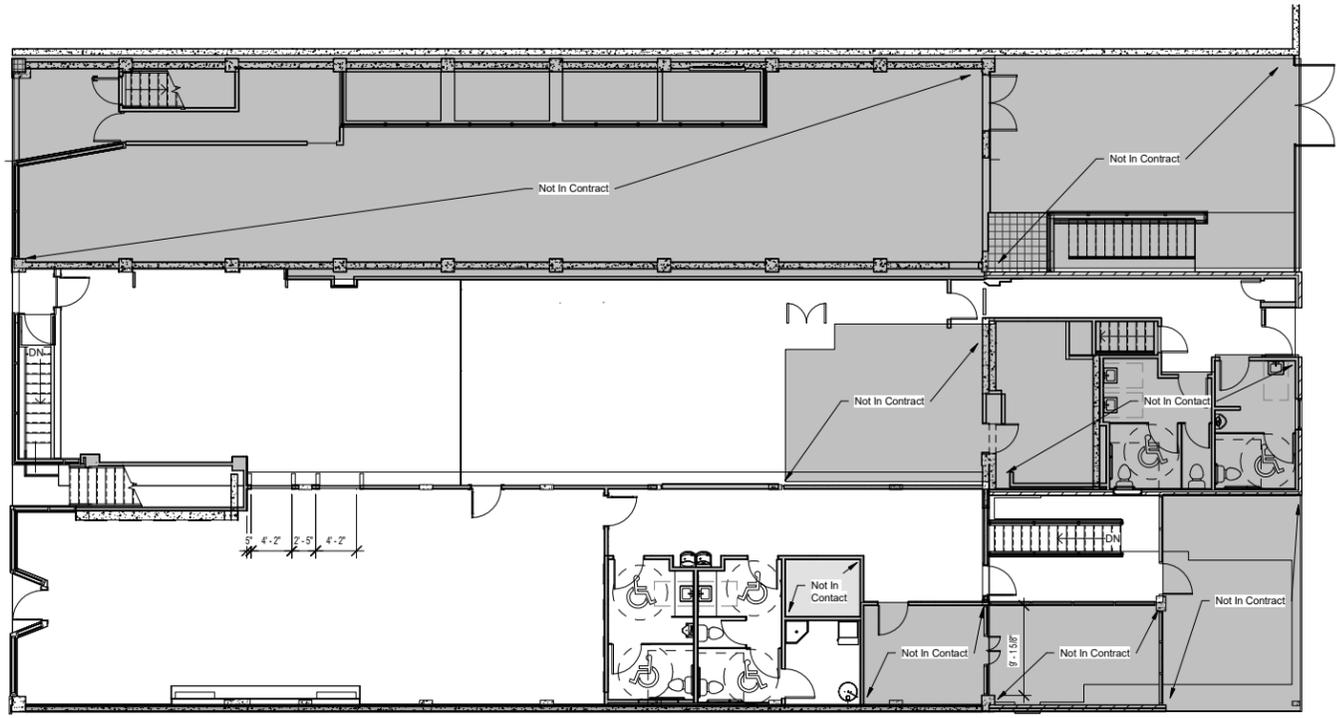
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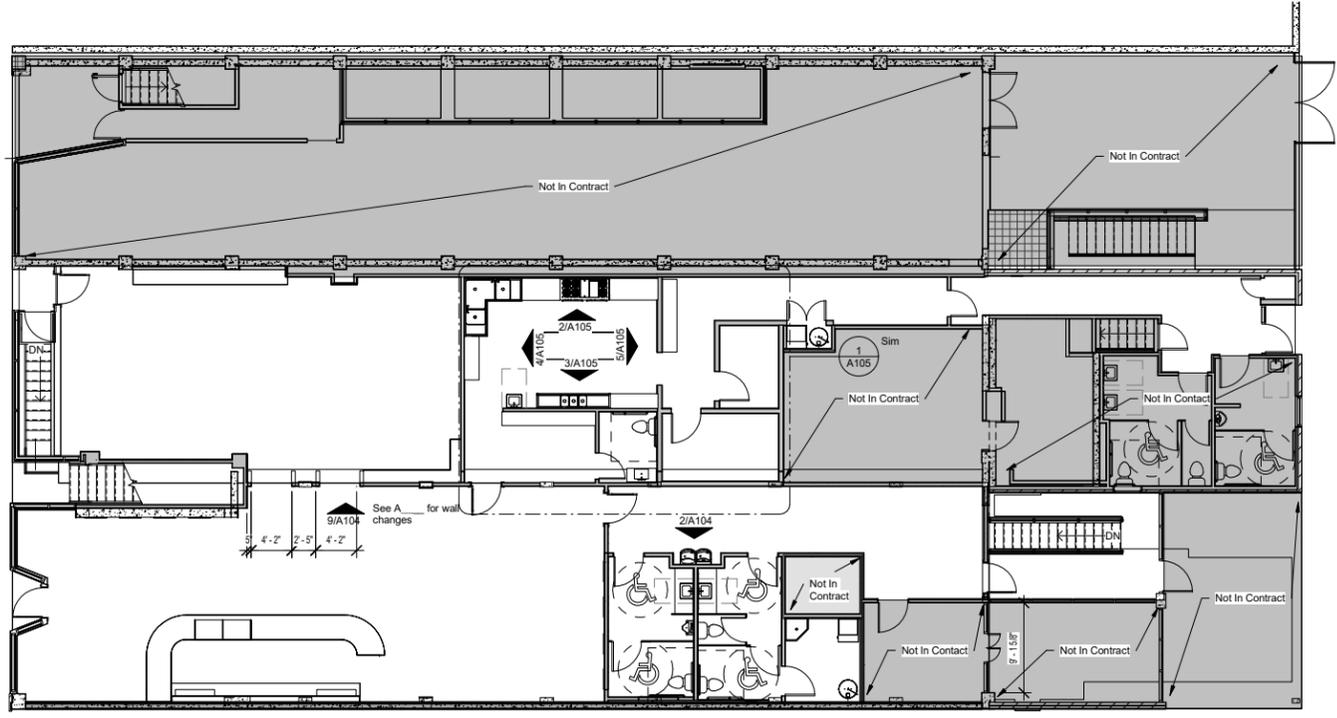


Exit / Fire Extinguisher Plan

G101



1 Main Floor - Existing/Demo Plan
A100 1/8" = 1'-0"



2 Main Floor - New Plan
A100 1/8" = 1'-0"

Armo Historic Renovation TI - 2

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Demo Plan
Plan

A100

Armo Historic Renovation TI - 2

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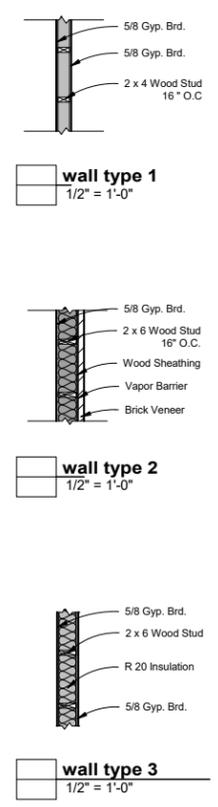
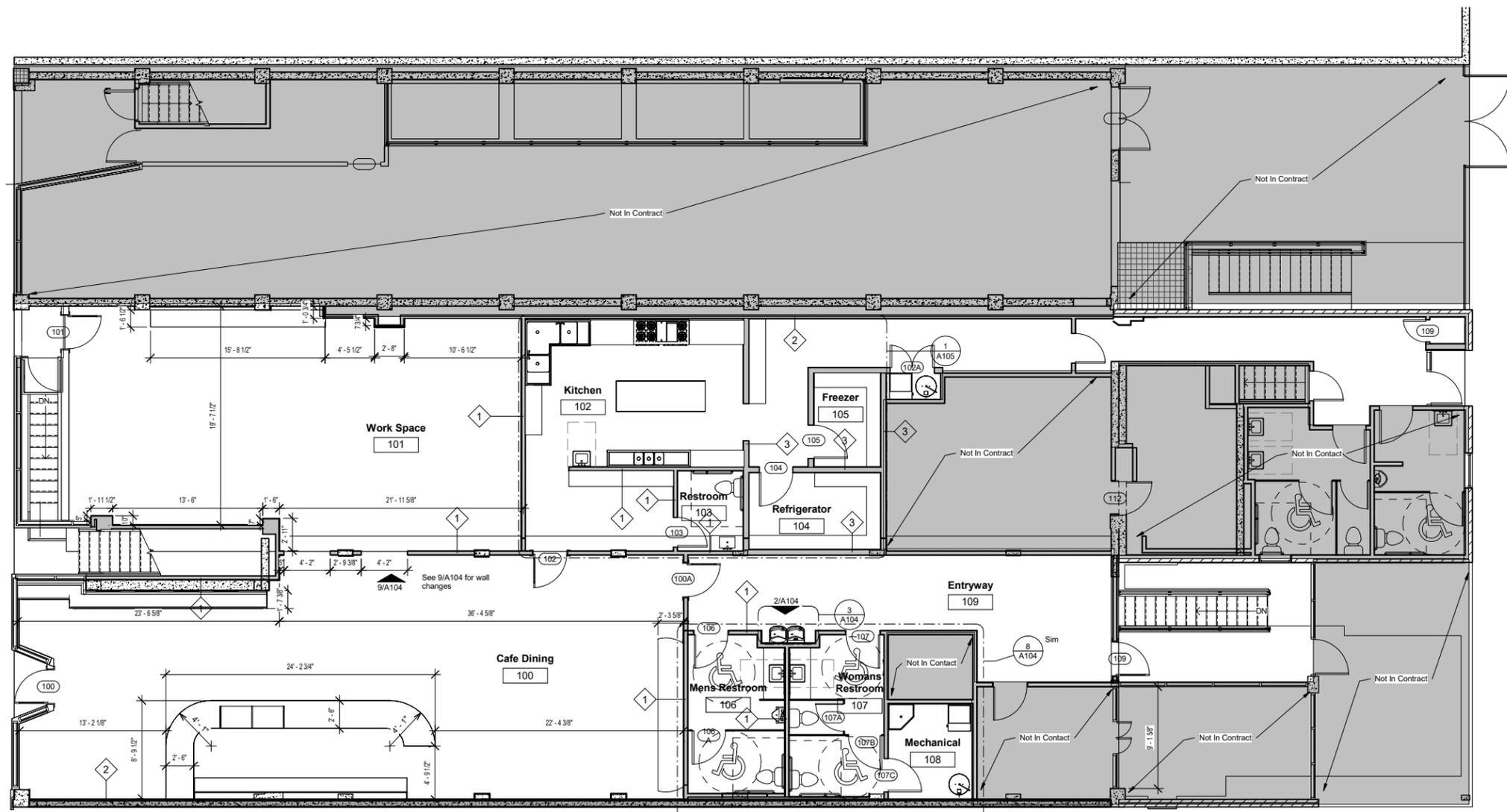
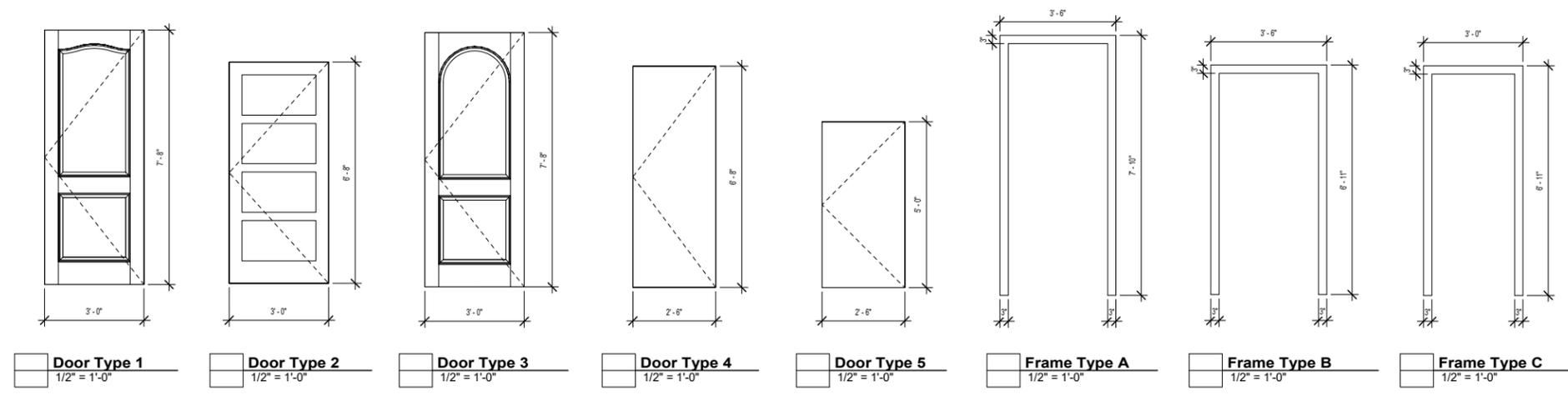
Dimensioned Floor Plan

A101

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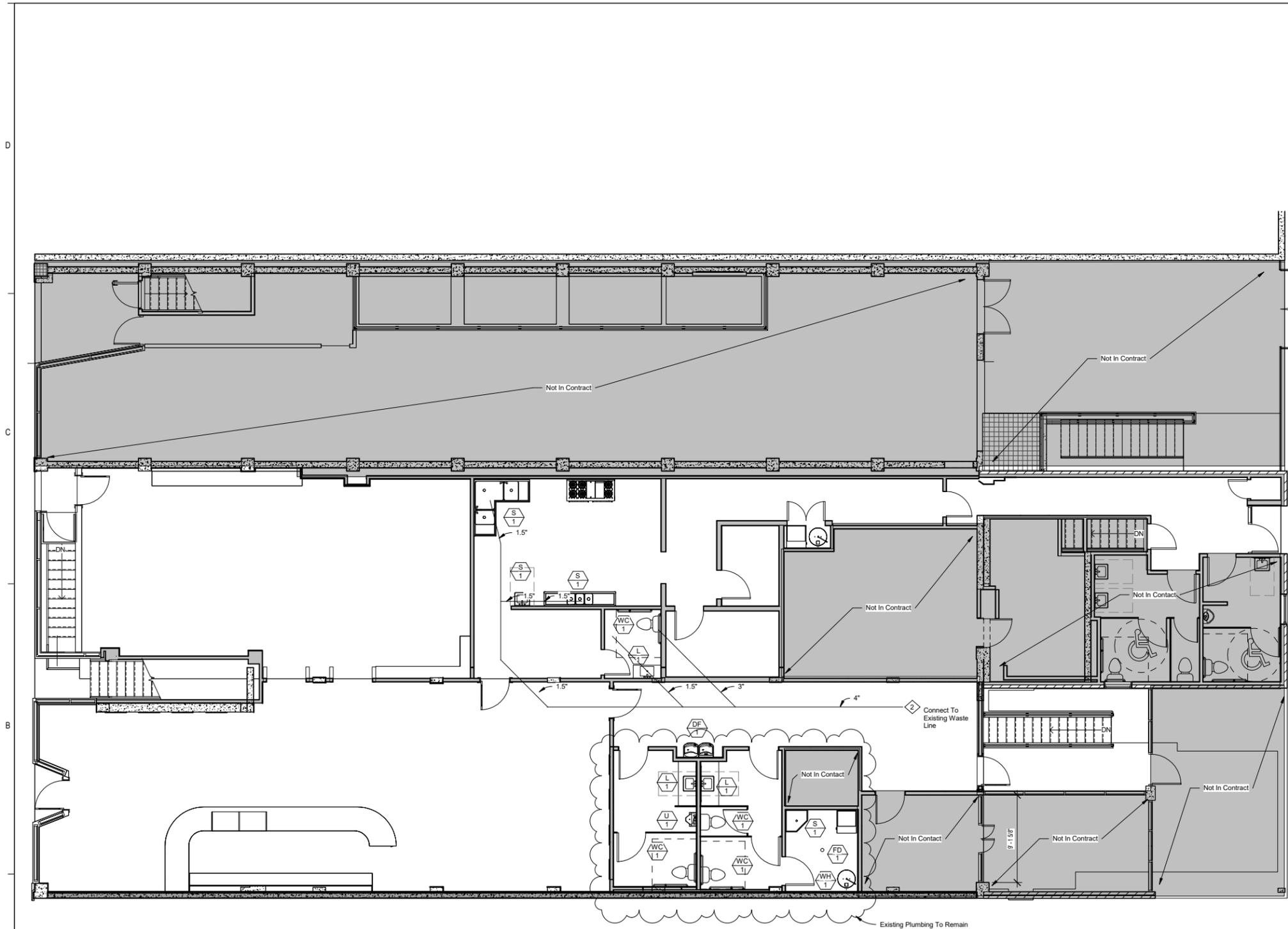
Door Schedule

Door Number	Width	Height	Size Thickness	Door Type	Frame Type
100	3'-0"	7'-8"	0' - 1 3/8"	3	A
101	3'-0"	7'-8"	0' - 1 3/8"	1	A
102	3'-0"	7'-8"	0' - 1 3/8"	1	A
103	3'-0"	6'-8"	0' - 1 3/8"	2	B
104	2'-6"	6'-8"	0' - 1 3/8"	4	C
105	3'-0"	6'-8"	0' - 1 3/8"	2	B
106	2'-6"	5'-0"	0' - 1 3/8"	5	NA
107	2'-6"	6'-8"	0' - 1 3/8"	4	C
108	3'-0"	6'-8"	0' - 1 3/8"	2	B
109	3'-0"	7'-8"	0' - 1 3/8"	3	A
110	2'-6"	6'-8"	0' - 1 3/8"	4	C
111					
112					
113	3'-0"	7'-8"	0' - 1 3/8"	3	A



1 Main Floor - Dimensioned
A101 3/16" = 1'-0"





1 Main Floor Waste Plumbing Plan
 P101 3/16" = 1'-0"

PIPE LEGEND	
	WASTE PIPE
	VENT PIPE
	DOMESTIC COLD WATER PIPE
	DOMESTIC HOT WATER PIPE

WATER FIXTURE UNIT SCHEDULE

QUANTITY	FIXTURES	WATER FIXTURE UNIT (WFU)	G.P.M.
3	HAND SINK	1.0	1.0
1	MOP SINK	3.0	3.0
2	3 COMP. SINK	4.0	4.0
4	TOILET	1.0	1.0
1	URINAL	1.0	1.0
WFU TOTAL:			10

PLUMBING FIXTURE SCHEDULE

SYMBOL	FIXTURES	WASTE	VENT	C.W.	H.W.	NOTES
	WATER CLOSET	4"	2"	1/2"	-	-
	LAVATORY	1 1/2"	1 1/2"	1/2"	1/2"	WALL HUNG
	SINK	1 1/2"	1 1/2"	1/2"	1/2"	-
	DRINKING FOUNTAIN	1 1/2"	1 1/2"	1/2"	1/2"	-
	FLOOR DRAIN	3"	-	1/4"	-	W/ TRAP PRIMER
	WATER HEATER	-	-	3/4"	3/4"	-
	URINAL	4"	2"	1/2"	-	-

PIPE SIZING TABLE @ 5 PSI/100'

PIPE SIZE	FLUSH TANK	FLUSH VALVE	VEL (F.P.S.)	G.P.M.
1/2"	3	-	5.0	3
3/4"	8	-	5.1	7
1"	16	4	5.3	13
1 1/4"	47	10	6.1	27
1 1/2"	75	22	6.7	37
2"	230	110	7.1	-70

KEYED NOTES

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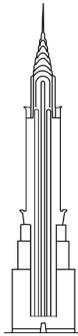
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Plumbing Plan
P101

03

TRIBECA LOFT



As a visiting designer at our school, Rayman Boozer of Apartment 48 presented this project to us students, challenging us to design a Tribeca loft for Matteo Giordano and Giulia D'Angelo, fashion enthusiasts who recently relocated from Milan to NYC. Their Tribeca loft was designed to offer tranquility amidst their fast-paced lives while still reflecting their bold, dynamic energy. With natural light only available from two sides of the apartment, strategic daylighting techniques play a crucial role in brightening the space. The entryway, living room, kitchen, dining area, and home office were designed to be both highly functional and artistic expressions of their personalities. Given the spatial constraints of NYC living, the design incorporates hidden storage solutions for practicality, while also providing curated display areas to showcase their cherished travel finds and fashion inspirations.

ABOUT THE CLIENTS



Matteo & Giulia

MATTEO GIORDANO & GIULIA D'ANGELO ARE FASHION ENTHUSIASTS WHO RECENTLY RELOCATED FROM MILAN TO NYC. MATTEO, AN INFLUENCER, HAS A YOUTUBE CHANNEL AS A FASHION COORDINATOR AND GIULIA A STYLIST. FASHION, ART, AND TRAVEL ARE AT THE CENTER OF EVERYTHING THEY DO. THEY ADORE VIBRANT HUES AND LIVELY ENVIRONMENTS, ALL THE WHILE UPHOLDING A SENSE OF SOPHISTICATION WITHIN THEIR HOME.



1. Fornasetti - one of their favorite brands, specifically the collectable plates

4. Aside from his Youtube channel Matteo also loves film photography

7. Chanel green alligator jumbo classic flat bag is a rare design and Giuliana's personal favorite

2. Photographer Tim Walker captured fashion in a way that inspires the couple

5. Their Peter Lindbergh Dior coffee table book they got in Paris is always on display in their living room

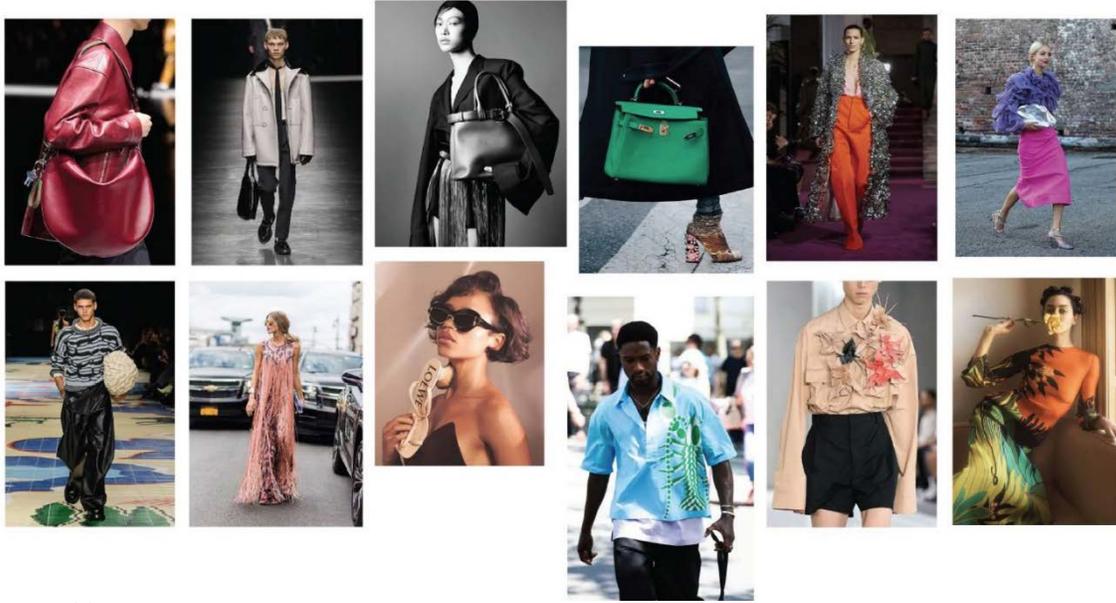
8. Pearls are Giulia's favorite accessories and a signature in her styles

3. L'Occitane -Shea butter hand cream can always be found in Giuliana's handbag

6. Tulips are the couple's favorite flower and a fresh bouquet is always in their home

9. Whether out at a restaurant or relaxing at home martinis are the couple's signature cocktail

MOOD & INSPIRATION



CLIENTS GIVEN MOOD BOARD



INSPIRATION BOARD

FLOOR PLAN & MATERIALS



FLOOR PLAN



MATERIAL PALETTE

FIRST IMPRESSIONS

Creating a welcoming entryway sets the precedent for the rest of the apartment. Merging stunning visuals and functionality is key. Storage is a must in a NYC apartment, to keep clutter at bay.



ENTRY WAY

TRIBECA LIVING ROOM

Fashion duo Matteo Giordano & Giulia D'Angelo's new Tribeca loft seamlessly merges their Italian roots with the vibrant energy of New York City. Their living room perfectly reflects them.



FEATURED FINDS



Yiannis Ghikas
Soda Blown
Murano Glass
Table

Anna Sudbina
Painting



Branching
Chandelier



Fornasetti
Tema e
Variazioni
Wall Plate

APARTMENT DINING

Creating a kitchen and dining space that ignites culinary inspiration as well providing a sanctuary from the bustling city and life of traveling. The kitchen has a bright and fun feeling while not feeling busy or overwhelming. The dining space was designed to cultivate a moody ambiance while still being chic enough for a video backdrop.



DESIGN DETAILS

KITCHEN RENDERING



Iris Apfel
Summer Of Love
Forest Green



Alexandra Round
Dining Table



Edmond 1 Light
Pendant



Pink Mosaic Tile



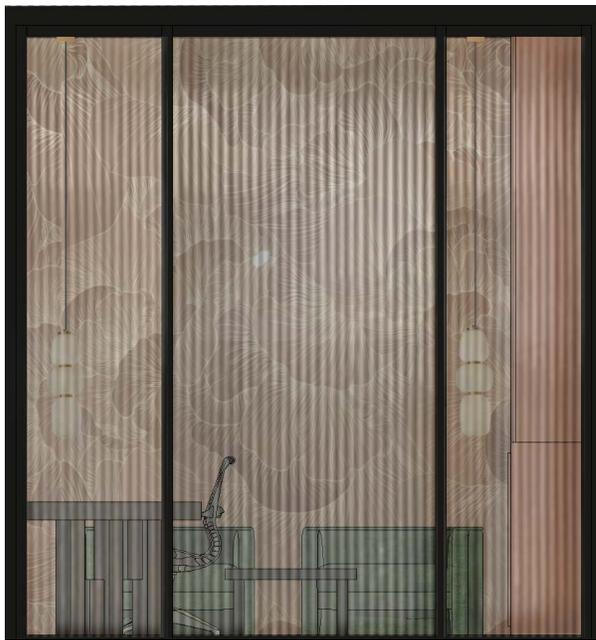
Lee Jofa Fabric



DINING ROOM RENDERING

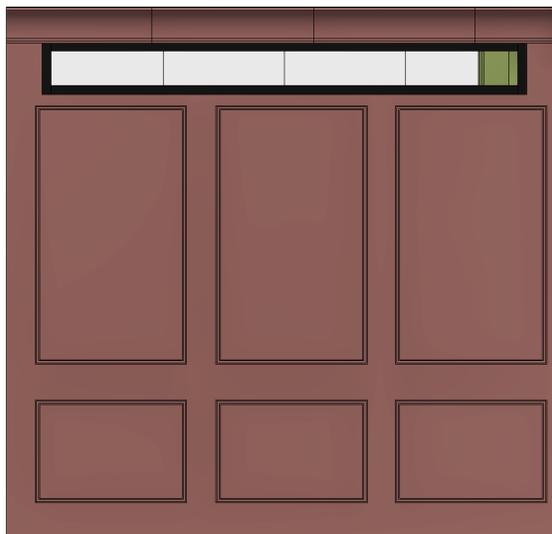
NATURAL LIGHT & OFFICE

Bringing natural light into this Tribeca loft was a design challenge due to the windows being solely on the north and south side of the building. Introducing glass partition walls in the office area achieved the dual purpose of maintaining privacy while maximizing daylight exposure. Meanwhile, in the dining area, the aim was to cultivate a moody ambiance. To strike this balance, a small transom window was strategically placed between the kitchen and dining space, allowing a controlled infusion of natural light while preserving the desired atmospheric mood.



OFFICE RENDERING

OFFICE SELECTIONS



DINING ELEVATION

STORAGE SOLUTIONS

Storage is indispensable in all New York City apartments, but for avid travelers and collectors, its significance is amplified. The incorporation of a diverse range of shelving accommodates displaying items alongside concealed storage units to help keep the space tidy. In the entryway, concealed storage solutions for coats, shoes, and miscellaneous items were deemed essential. The custom built-in units in the living and office areas provided an ideal platform to showcase the couple's extensive

MAXIMIZING MINIMAL SPACE



ENTRYWAY STORAGE



OFFICE BUILT-INS

CUSTOM WALLPAPER



OPULENCE

04

RIVER BEND

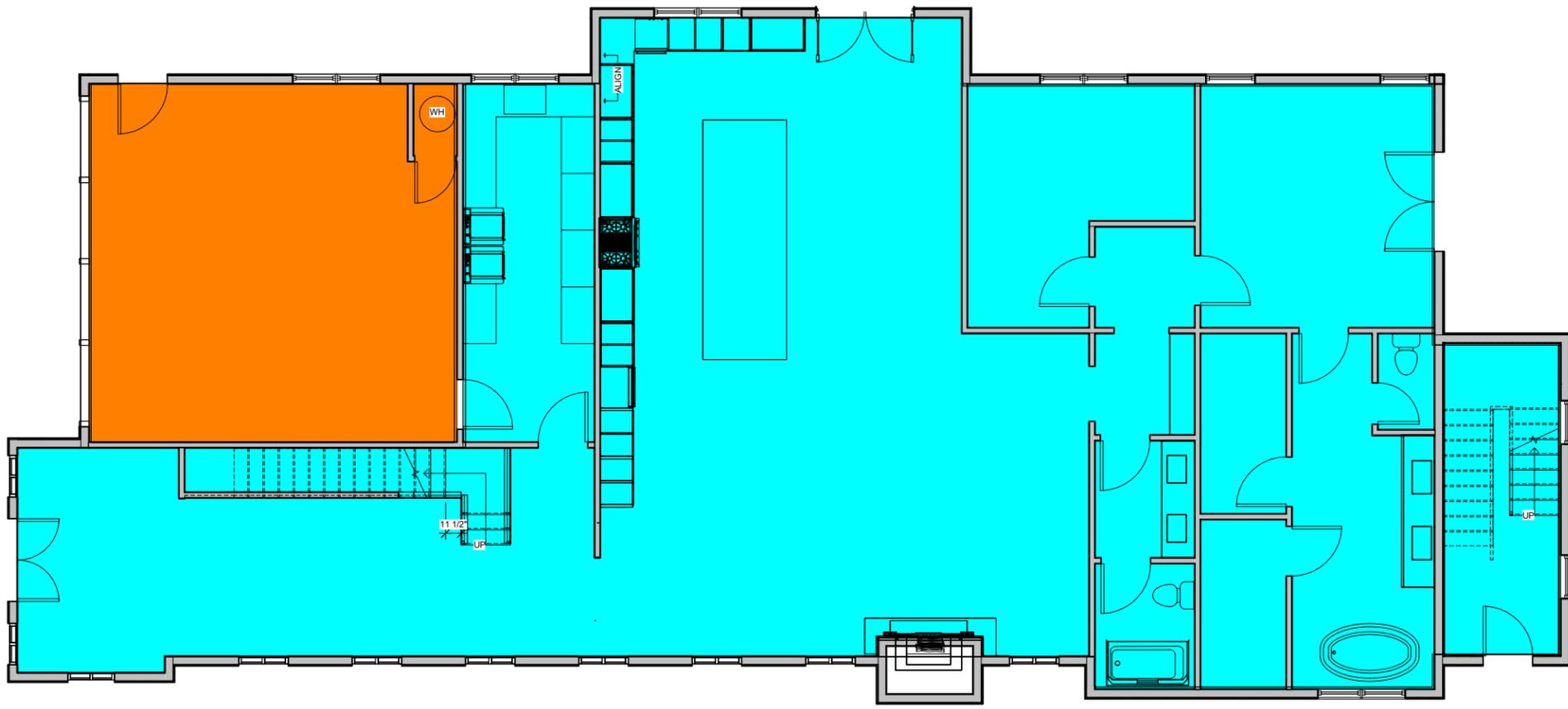


River Bend is a residential project located in the Sun Valley area of Idaho, designed to blend functionality with beauty. Created for a family, the home's layout prioritizes togetherness and connection, with thoughtfully designed spaces that encourage gathering. In addition to the main residence, the property includes a separate ADU unit, providing both flexibility and the opportunity for additional income. This set of residential construction documents ensures that every detail supports a balance of practicality, and timeless design.

MOOD & INSPIRATION



D
C
B
A



Area Legend

- 483 Sq. Ft. Garage
- 2,639 Sq. Ft. Living Area.

1 Main Floor Area Plan
G102 1/4" = 1'-0"

House Design

OWNERS NAME Skip & Jenn Merrick
PROJECT ADDRESS 320 W Chestnut Street, Hailey ID, 83333

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ISSUED : Oct 21, 2023



Area Legend

- 1,806 Sq. Ft. ADU Living Area
- 1,348 Sq. Ft. Living Area.

1 2nd Level Area Plan
G103 1/4" = 1'-0"

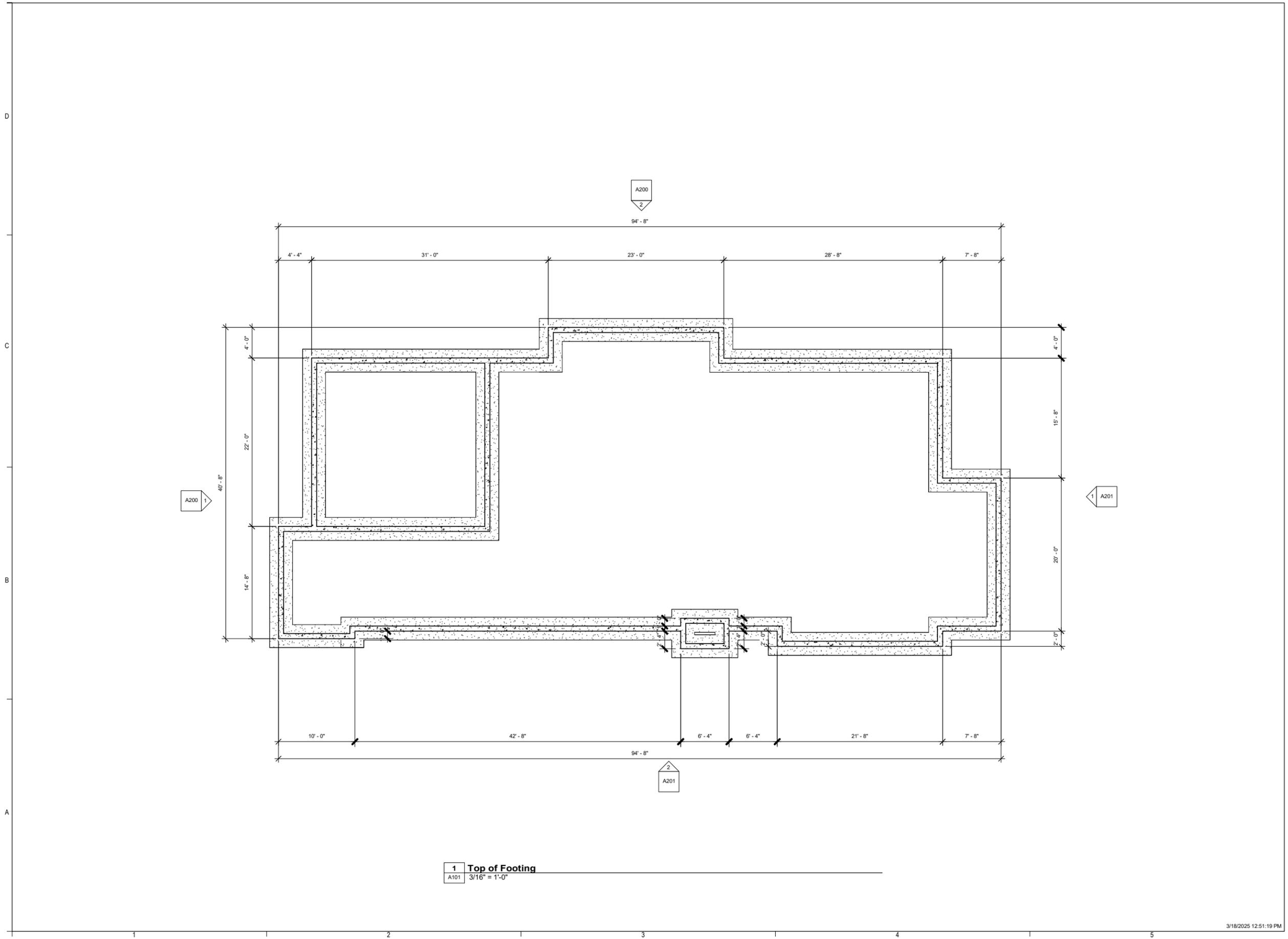
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2nd Level Area Plan
G103



A200 1

A200 2

A201 1

A201 2

1 Top of Footing
A101 3/16" = 1'-0"

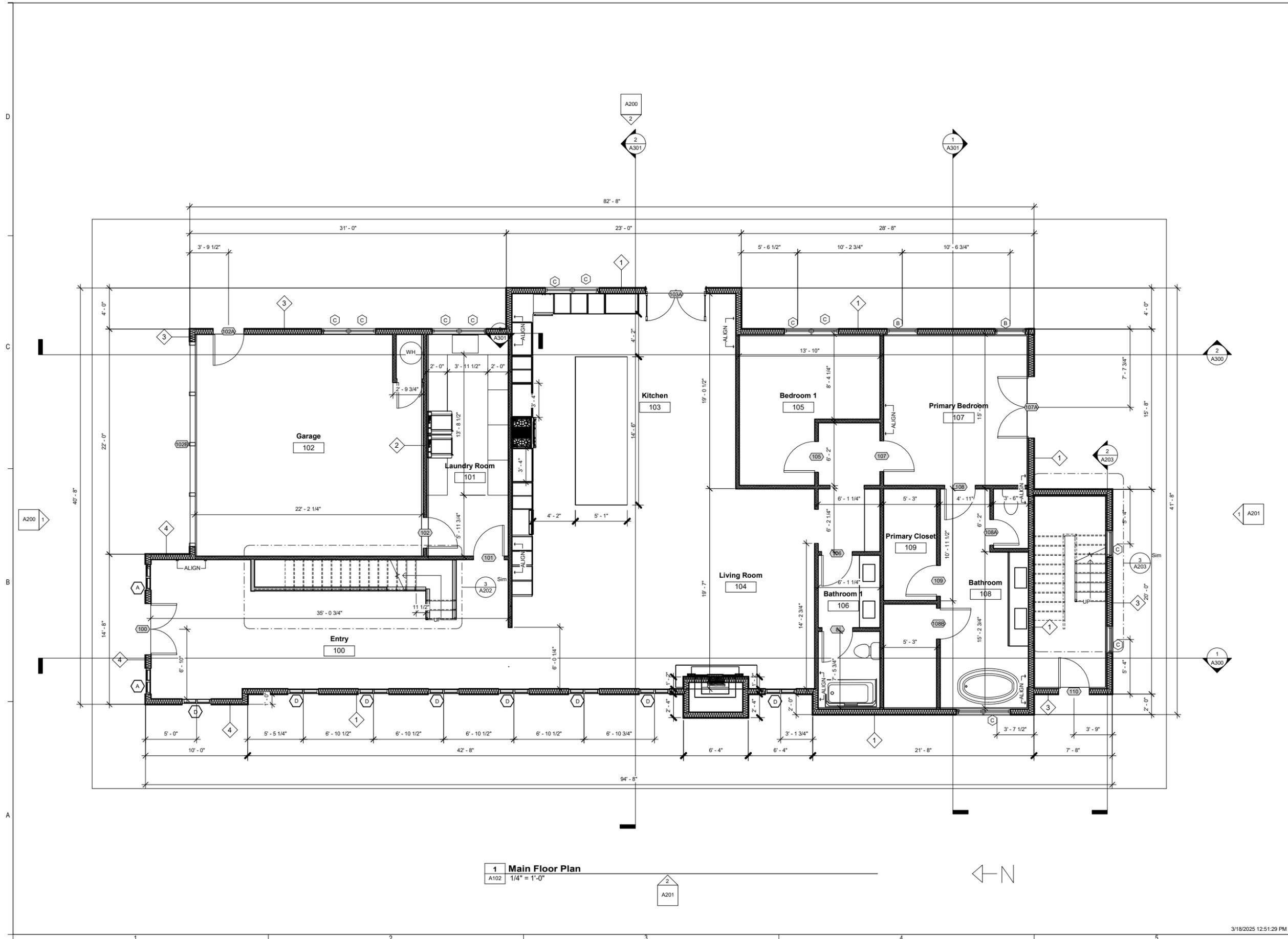
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Footing and Foundation
A101



1 Main Floor Plan
 A102 1/4" = 1'-0"

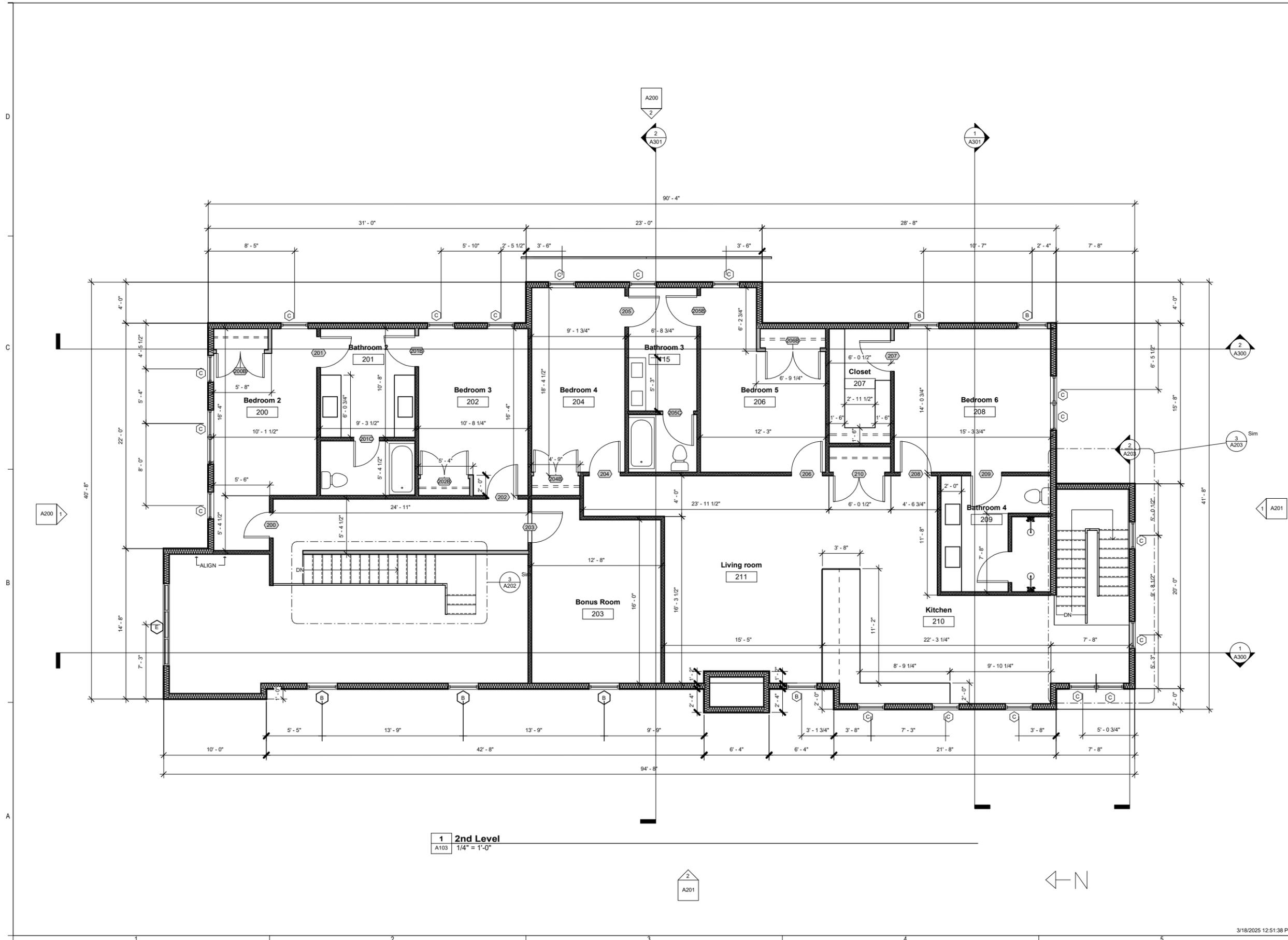
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Main Floorplan
A102



1 2nd Level
A103 1/4" = 1'-0"

House Design

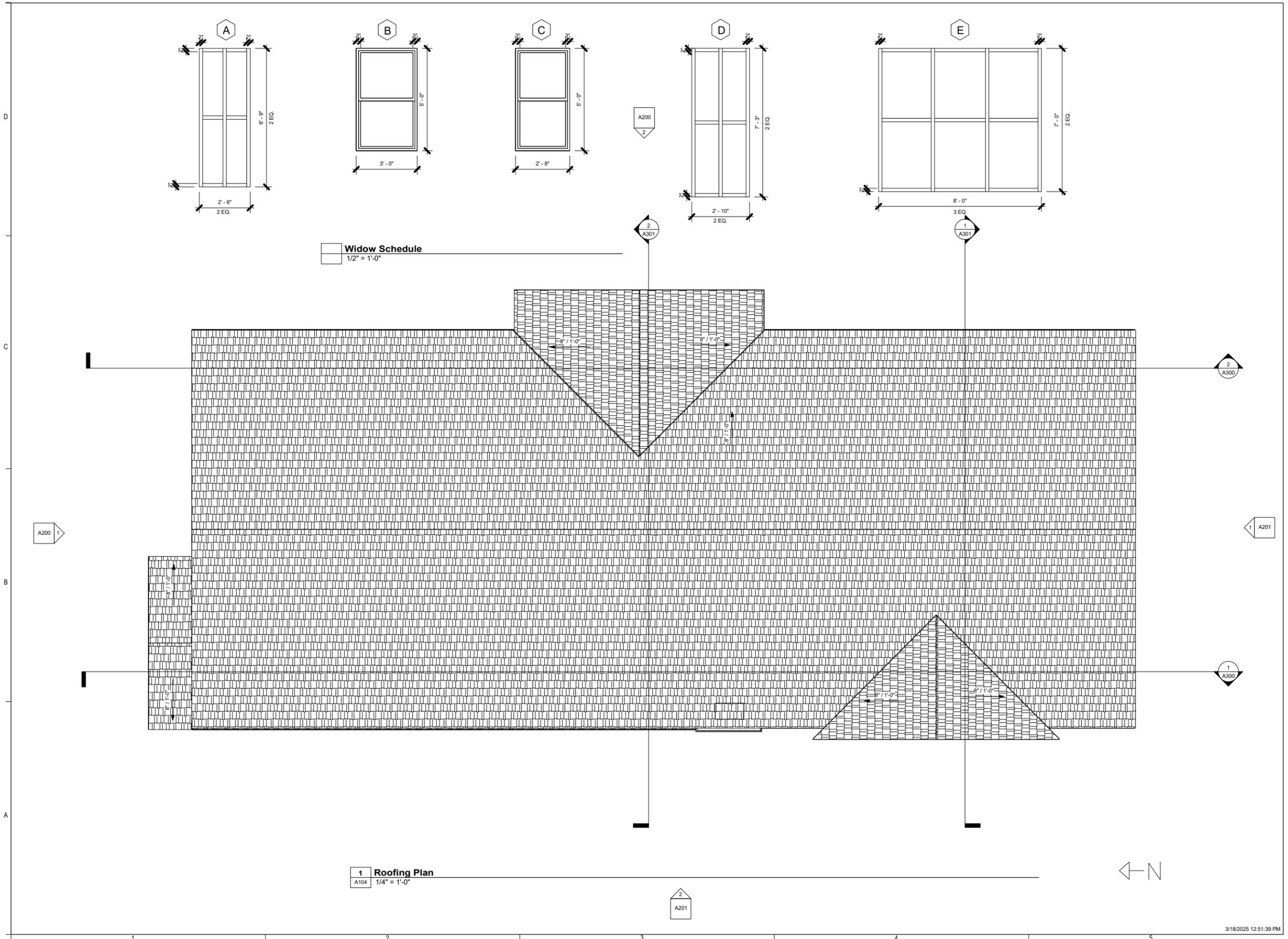
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2nd Floorplan

A103



Widow Schedule
1/2" x 1'-0"

1 Roofing Plan
A104 1/4" = 1'-0"

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Elevations 1

A200



1 South
A201 1/4" = 1'-0"

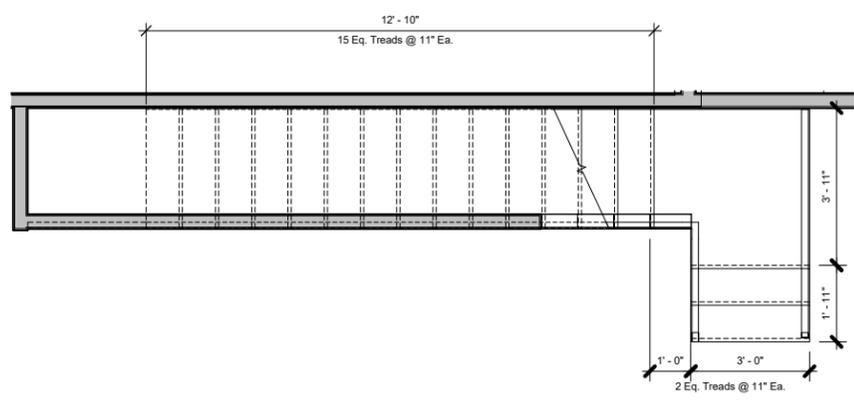
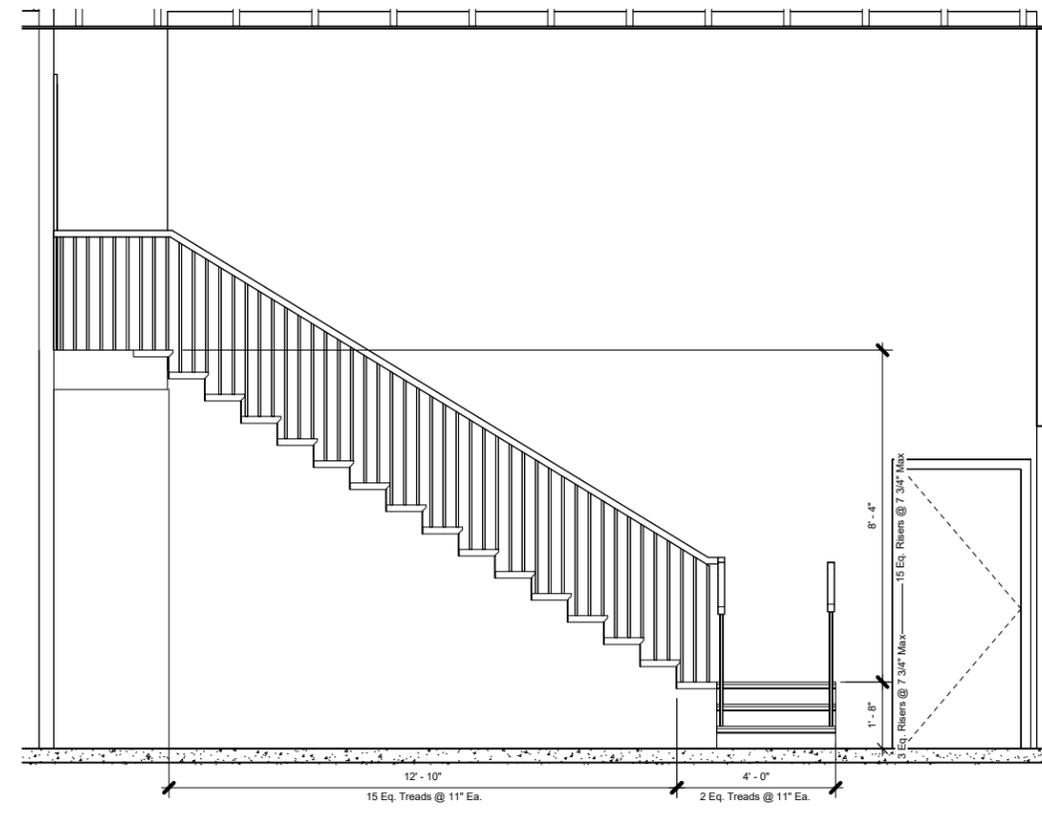
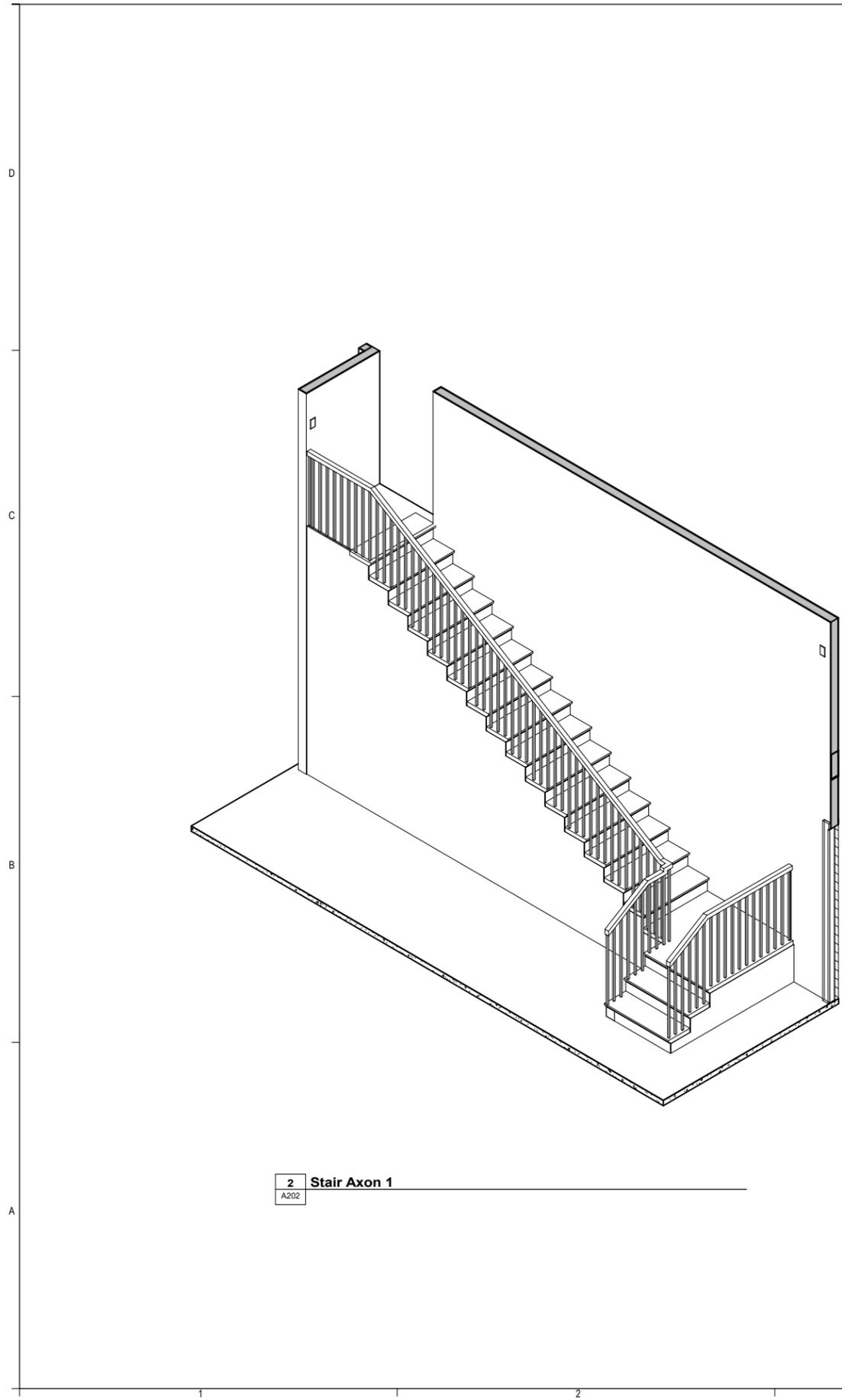
2 West
A201 1/4" = 1'-0"

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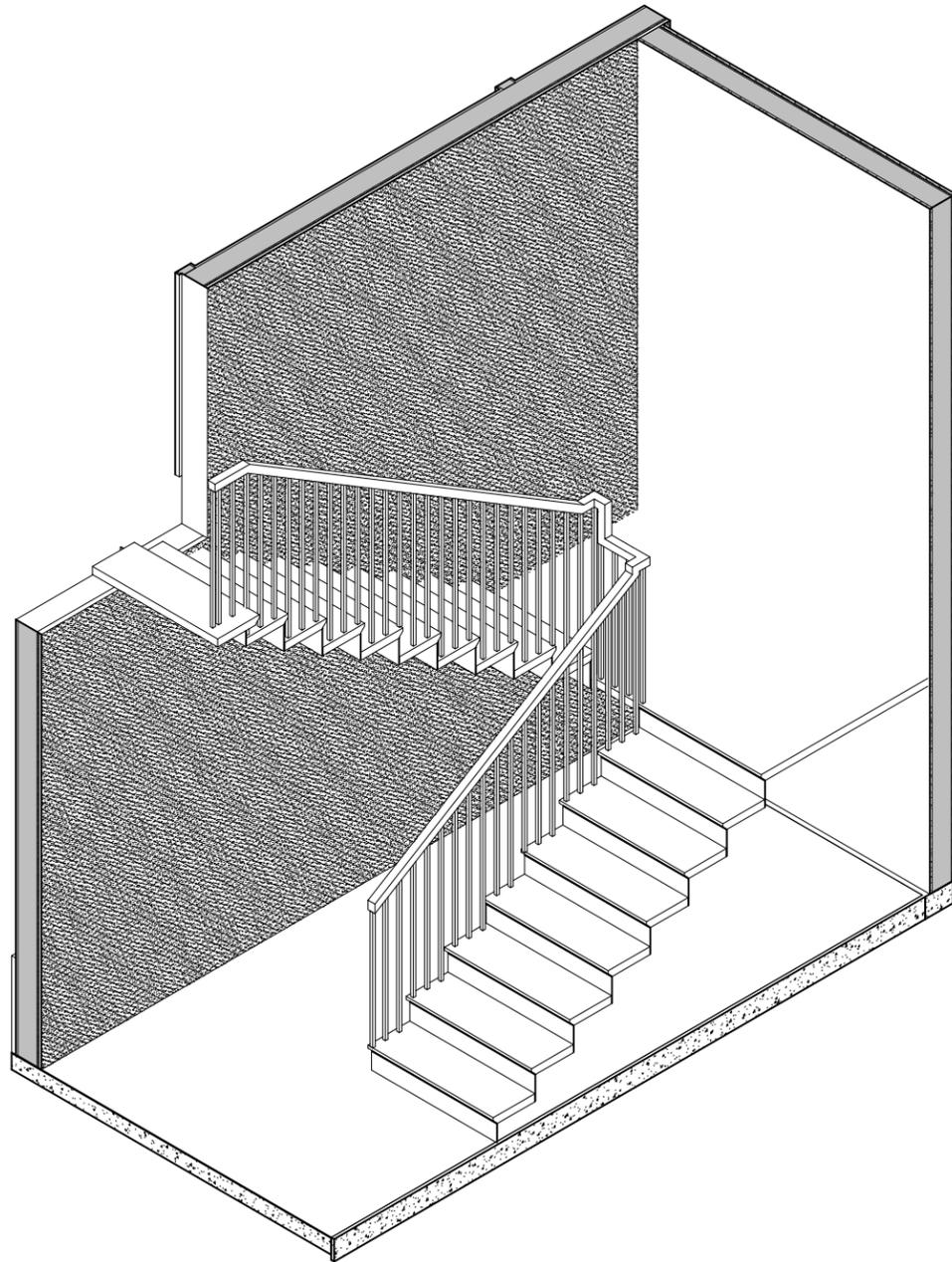
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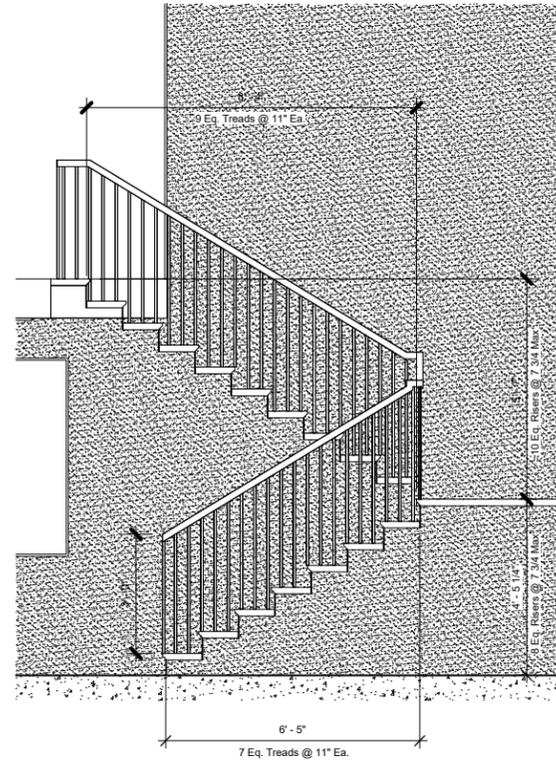
Stair sections
A202

D
C
B
A



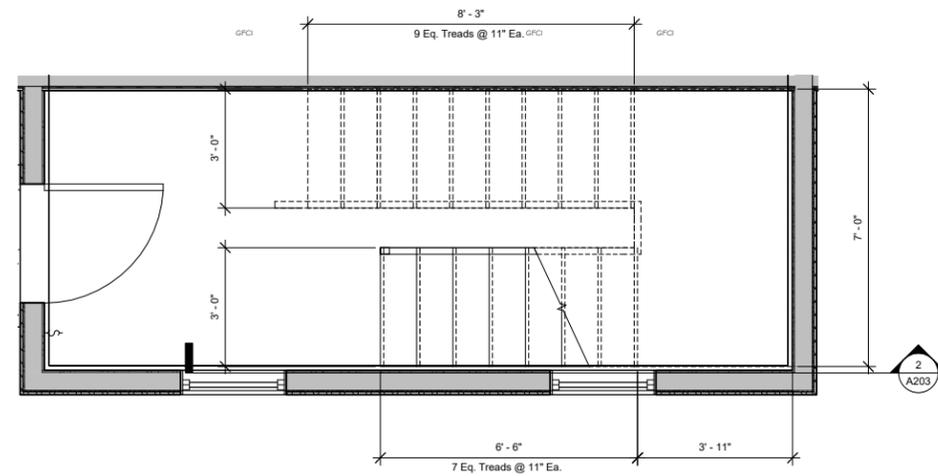
1 Stair Axon 2

A203



2 Stair Section 2

A203 1/2" = 1'-0"



3 Main Floor - Enlarged Stair 2

A203 1/2" = 1'-0"

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Stair sections
2

A203



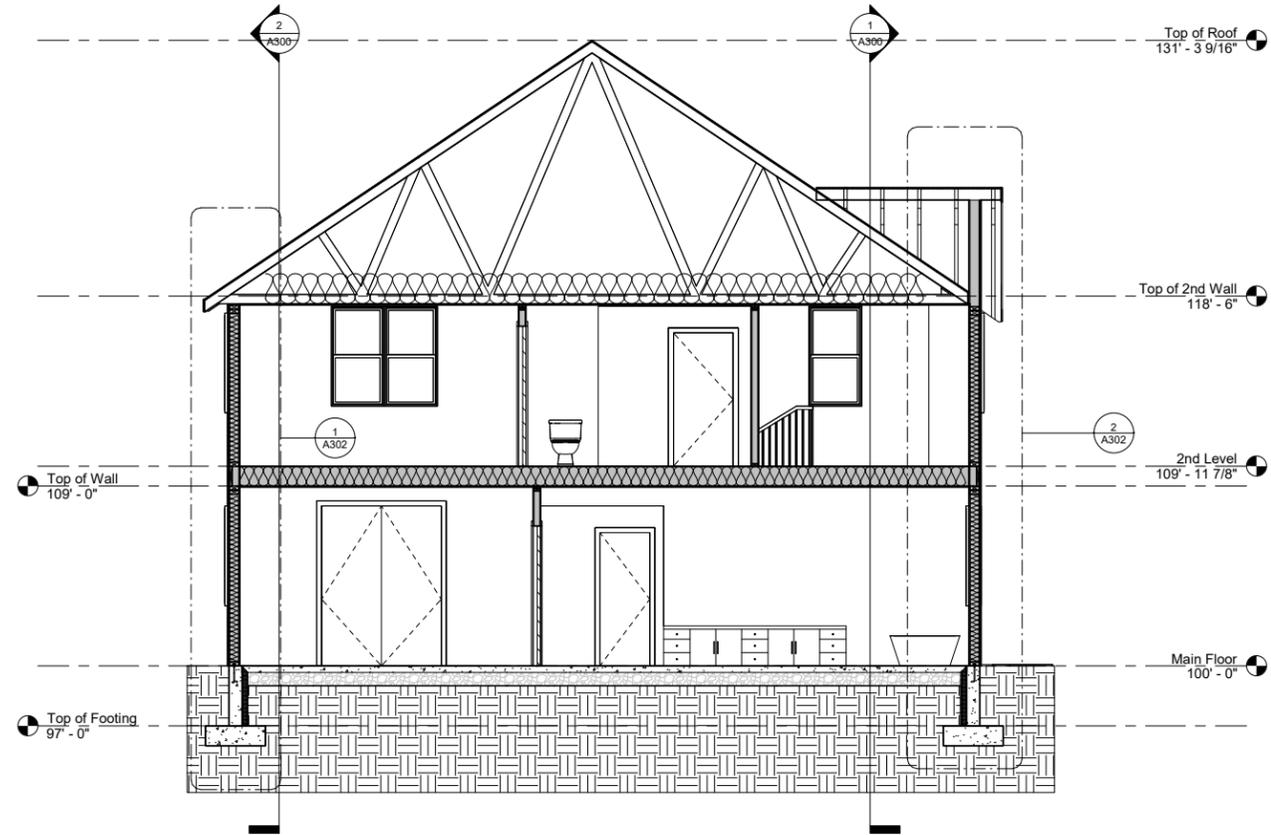
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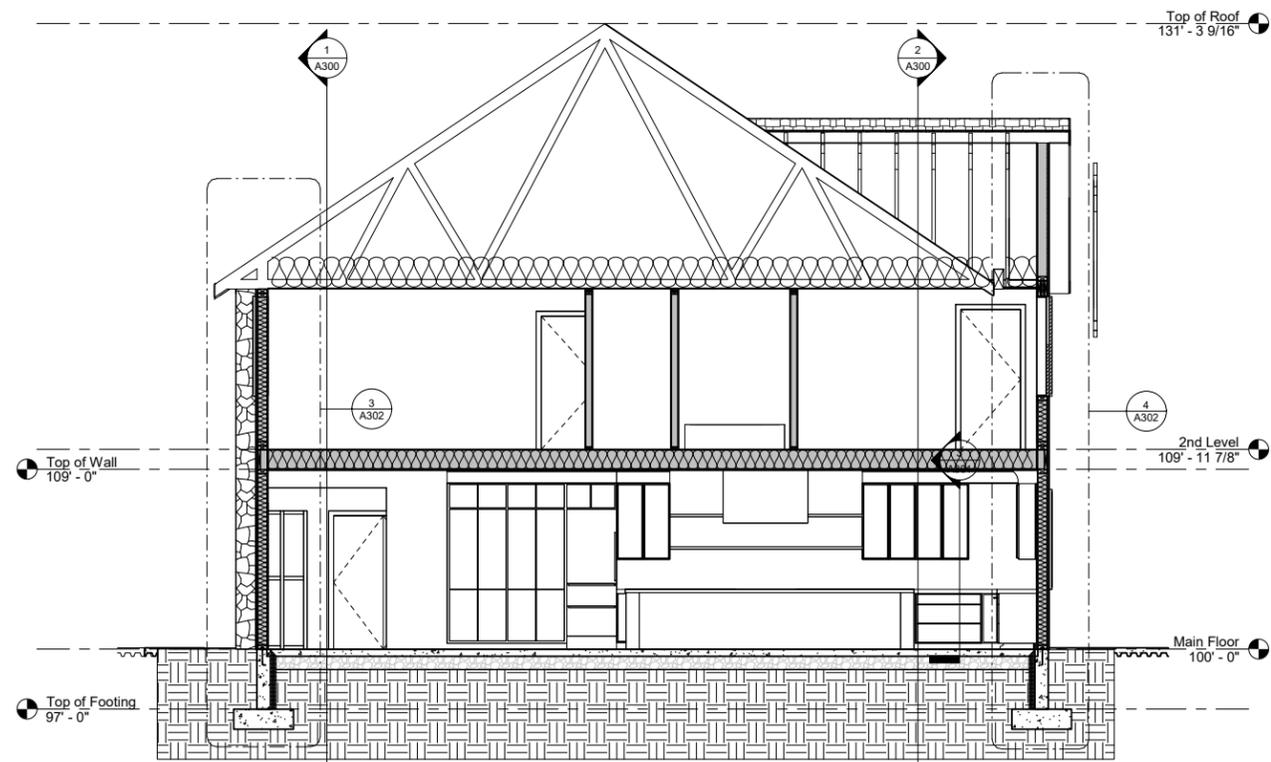
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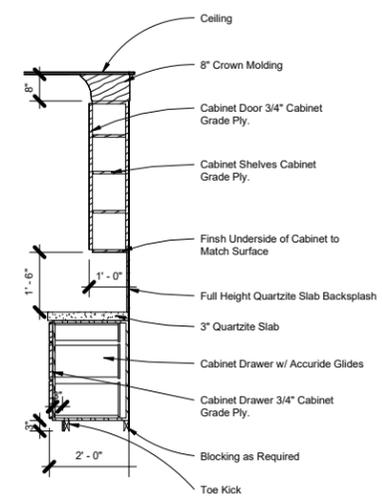
Building Sections
A300



1 Section C
A301 1/4" = 1'-0"



2 Section D
A301 1/4" = 1'-0"



3 Cabinet Section
A301 1/2" = 1'-0"

House Design

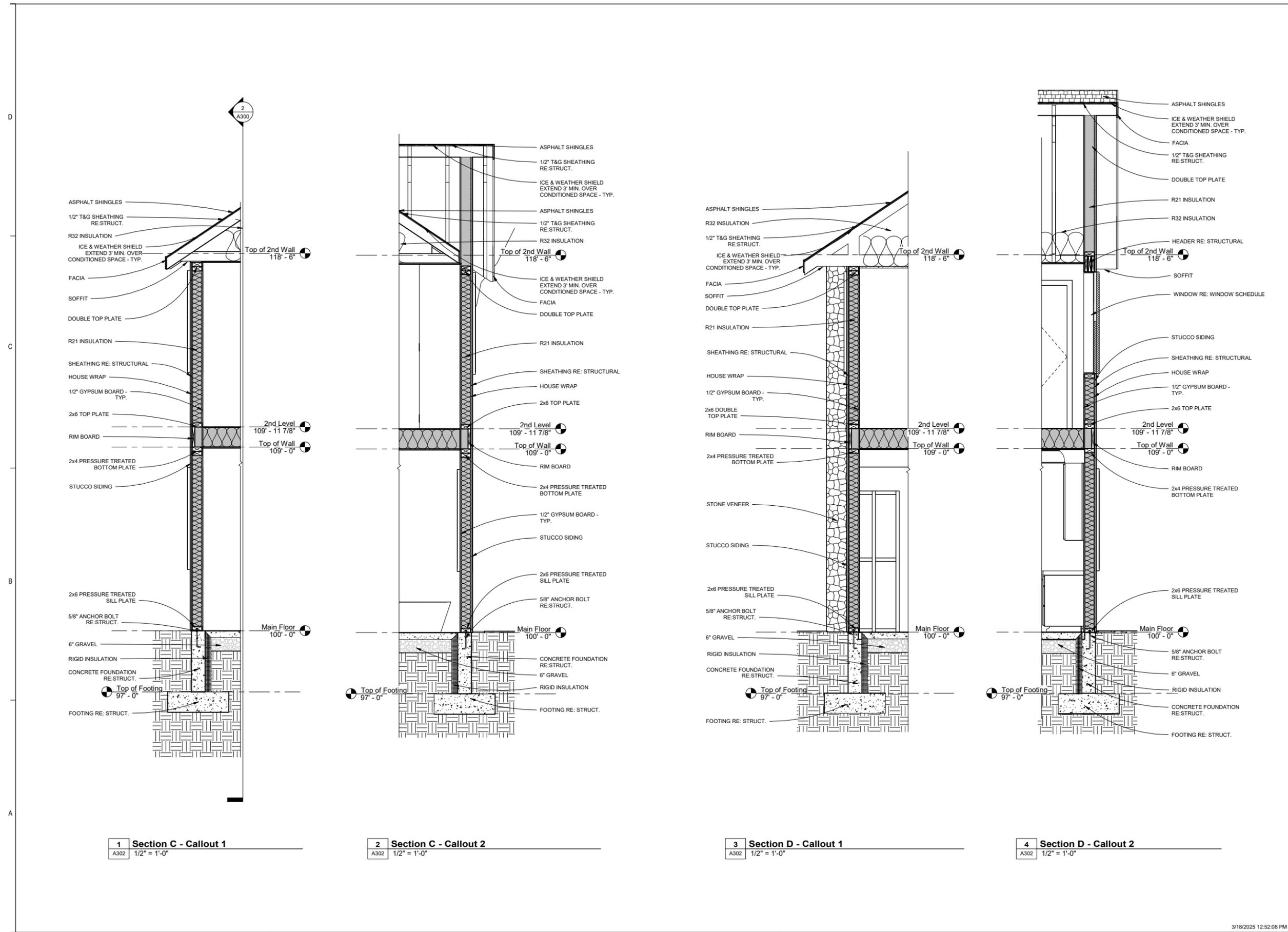
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Building Sections 2

A301



1 Section C - Callout 1
A302 1/2" = 1'-0"

2 Section C - Callout 2
A302 1/2" = 1'-0"

3 Section D - Callout 1
A302 1/2" = 1'-0"

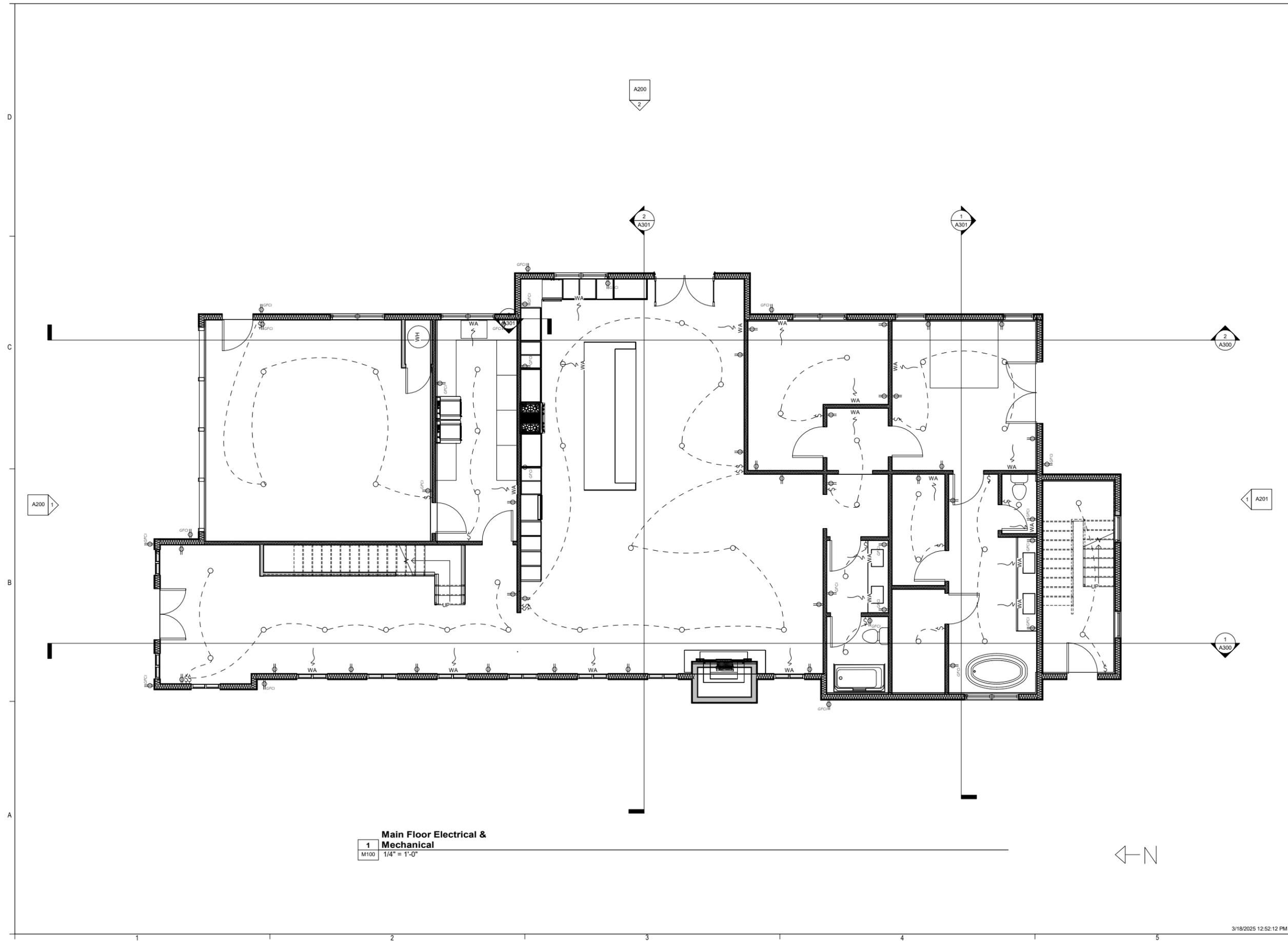
4 Section D - Callout 2
A302 1/2" = 1'-0"

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1
M100
Main Floor Electrical & Mechanical
1/4" = 1'-0"



House Design

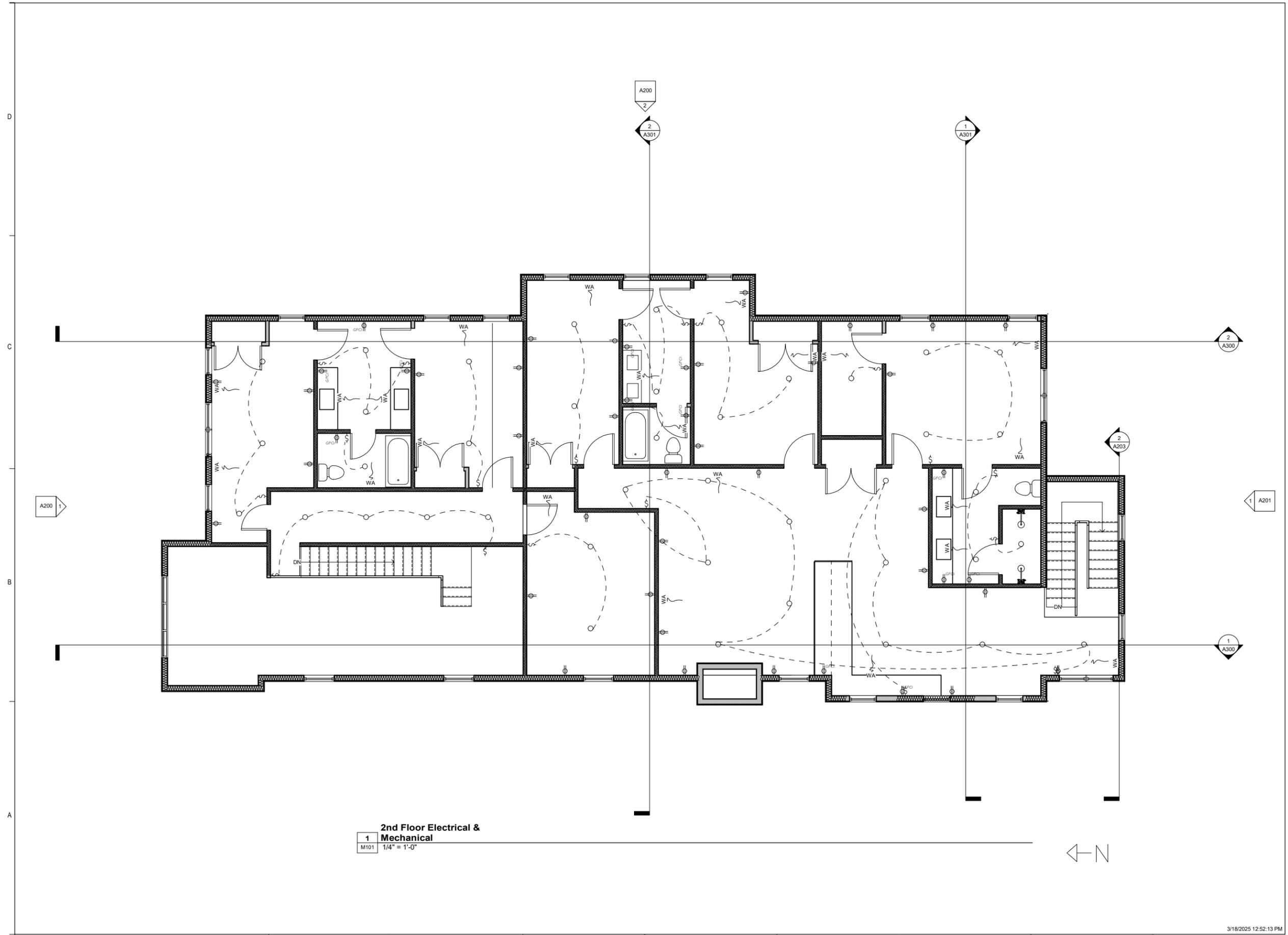
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Main Floor Electrical & Mechanical

M100



1 2nd Floor Electrical & Mechanical
 M101 1/4" = 1'-0"

House Design

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2nd Floor Electrical & Mechanical

M101

DM

DANI MERRICK